

## Rodney Local Board workshop programme

**Date:** 13 September 2023  
**Time:** 10am – 2.45pm  
**Venue:** Rodney Local Board Office, 3 Elizabeth St, Warkworth  
**Apologies:** Member M Carmichael

Local Board Services / Members only administrative time 9.45 – 10.00am					
Item	Time	Workshop item	Presenter	Governance role	Proposed outcome(s)
1	10.00 – 11.00am	Local Board Transport Capital Fund - workshop 3 <b>Supporting information</b> <ul style="list-style-type: none"> <li>• Memo</li> <li>• Presentation</li> </ul>	<b>Beth Houlbrooke</b> (Elected Member Relationship Partner North)	Local initiative and preparing for specific decisions	An opportunity to receive an update on proposed Local Board Transport Capital Fund projects in Rodney
2	11.00 – 11.30am	Auckland Transport monthly update <b>Supporting information</b> <ul style="list-style-type: none"> <li>• Memo</li> </ul>	<b>Beth Houlbrooke</b> (Elected Member Relationship Partner North)	Keeping informed	An opportunity to update the local board on a variety of transport related topics currently under action in Rodney
3	11.30 – 12.00pm	Helensville A&P Showgrounds comprehensive renewal <b>Supporting information</b> <ul style="list-style-type: none"> <li>• Memo</li> <li>• Presentation</li> </ul>	<b>Geoffrey Pitman</b> (Manager Area Operations)  <b>Peter Bilton</b> (Programme Manager)	Local initiative and preparing for specific decisions	An opportunity to receive an update on the Helensville A & P Showgrounds comprehensive renewal

	12.00 – 12.45pm	<b>Break</b>			
4	12.45 – 1.15pm	Auckland Transport Hauraki Road Leigh Crossing <b>Supporting information</b> • Presentation	<b>Rahul Gowtham</b> (Project Manager)	Local initiative and preparing for specific decisions	An opportunity to receive an update on the Hauraki Road Safety Improvements (Leigh crossing) project
5	1.15 – 1.45pm	Long-term Plan workshop 1 – Intro briefing / fees and charges <b>(Non-public)</b>			
6	1.45 – 2.45pm	State Highway 16 Stage One Safety Improvement <b>(Non-public)</b>			

**Role of Workshop:**

- (a) Workshops do not have decision-making authority.
- (b) Workshops are used to canvass issues, prepare local board members for upcoming decisions and to enable discussion between elected members and staff.
- (c) Members are respectfully reminded of their Code of Conduct obligations with respect to conflicts of interest and confidentiality.
- (d) Workshops for groups of local boards can be held giving local boards the chance to work together on common interests or topics.

# Rodney Local Board Transport Capital Fund 2023-2026

13<sup>th</sup> September – Workshop 3

# Introduction

- On 10<sup>th</sup> July 2023, at the Local Board Chairs' Forum, Auckland Transport's Chief Executive and Chief Financial Officer confirmed that this financial year's planned capital investment of \$1.058 billion is 10.8% lower than the \$1.186 billion originally outlined in the Regional Land Transport Plan (RLTP).
- In the latest reprioritisation process, the indicative budget advised previously for the current 3-year term was **reduced from \$45m to \$29.5m** (including approved \$7m for FY24).
- This is due to budget pressures Auckland Transport and our funding partners are facing including:
  - absorbing the additional \$125-\$150 million required for flood recovery on Auckland's roads
  - inflation and the rising costs of doing business.
- This means that some capital projects need to be paused or re-prioritised if previously planned.
- Over the coming weeks AT will work with local boards to pass resolutions approving revised budget allocations.



# Purpose of today

- Recap on FY22/23 by project.
- Update on budget that was recently confirmed in August 2023.
- Discuss impacts of budget changes to the local board project pipeline
- Recommend projects to prioritise for the next 3-year term



# Recap on FY22/23 by project

Projects	FY22/23 Budget	FY22/23 Actual Spent	FY22/23 Variance	Project Status
Puhoi Village Red Carpet	\$15,363	\$1,200	\$14,163	Construction Ready
Puhoi Village Electronic Speed Monitor	\$21,328	\$14,968	\$6,360	Complete
Point Wells Village Traffic calming	\$97,473	\$16,577	\$80,896	Construction
Leigh School Kea Xing zone signage	\$47,287	\$43,007	\$4,280	Rodney Targeted Rates
Raised Zebra Rodney St by Library	\$47,287	\$16,958	\$30,330	Cancelled
Taupaki Road Pedestrian Xing outside Harry James Reserve	\$186,140	\$24,454	\$161,686	Consultation
Mansel Drive Raised pedestrian Xing	\$313,739	\$55,042	\$258,697	Complete
Warkworth Primary School Raised Xing	\$313,554	\$60,052	\$253,502	Complete
Matua Rd . Tapu Rd Intersection	\$265,808	\$35,568	\$230,241	Construction Ready
Coast Road Safety Improvements Investigation	\$9,945	\$9,945	\$0	Complete
Coatesville Riverhead Highway Pedestrian	\$200,000	\$40,000	\$200,000	Detailed Design
Kaipara Coast Highway, School Pedn DNU	\$39,900	\$18,670	\$21,230	Rodney Targeted Rates
Motutara Rd Driver feedback signs	\$22,500	\$15,100	\$7,400	Complete
<b>Grand Total</b>	<b>\$1,583,324</b>	<b>\$351,541</b>	<b>\$1,231,783</b>	



# Update on budget for this term

- Due to budget pressures on AT, the indicative budget for 3 years has been reduced from **\$45m** to **\$29.5m**. Of this, **\$7.49m** is approved for FY24 and the remaining **\$22.01m** is endorsed for FY25 and FY26. Rodney Local Board's share is now **\$1.741m** over these 3 years.
- Additional budget across all local boards of **\$5.6m** was approved recently to complete projects with contractual commitments in place for design work or construction. The additional budget for the local board is **\$626k**.
- Therefore, an indicative budget for Rodney Local Board has been reduced from **\$2.658m** to **\$2.366m** for the 3-year term.



# Discussion on project for 3-year term

## Projects completed recently

Projects	FY22/23 Budget	FY22/23 Actual Spent	FY22/23 Variance	Project Status	Approved Additional budget	Funding required to be resolved to complete the project
Mansel Drive Raised pedestrian Xing	\$313,739	\$55,042	\$258,697	Construction	\$250,000	-
Warkworth Primary School Raised Xing	\$313,554	\$60,052	\$253,502	Construction	\$300,000	-

## Under construction with contractual commitments

Projects	FY22/23 Budget	FY22/23 Actual Spent	FY22/23 Variance	Project Status	Approved Additional budget	Funding required to be resolved to complete the project
Point Wells Village Traffic calming	\$97,473	\$16,577	\$80,896	Construction Ready	\$67,311	-

## Construction ready

Projects	FY22/23 Budget	FY22/23 Actual Spent	FY22/23 Variance	Project Status	Approved Additional budget	Funding required to be resolved to complete the project
Puhoi Village Red Carpet	\$15,363	\$1,200	\$14,163	Construction Ready	\$8,335	\$3,500
Matua Rd . Tapu Rd Intersection	\$265,808	\$35,568	\$230,241	Construction Ready	-	\$630,000

## In design-only contractual commitments

Projects	FY22/23 Budget	FY22/23 Actual Spent	FY22/23 Variance	Project Status	Approved Additional budget	Funding required to be resolved to complete the project
6 Gaupaki Road Pedestrian Xing outside Harry James Reserve	\$186,140	\$24,454	\$161,686	Consultation	-	\$170,000
Coatesville Riverhead Highway Pedestrian	\$200,000	\$40,000	\$200,000	Detailed Design	-	\$200,000





# Discussion on projects to deliver for 3-year term

## No contractual commitments

Project Name	Address	Project origin if known	Project Description/ Comments/ History	Cost estimate including design cost
Rautawhiri Road raised crossing	Rautawhiri Reserve, 153 Rautawhiri Road, Helensville	Local board/ Councillor request	<p>Raised Crossing outside Rautawhiri Reserve, which is becoming increasingly busy due to local development. This will serve as a safe way for children to cross the busy road and also help slow traffic coming in from Inland Road. Drivers are struggling to slow from 80km to 50km as they leave Inland Road. There is also a new day care centre opening in this location, which will only increase the number of young children on this road and crossing to access the reserve.</p> <p>ROC is based on upgrading the existing refuge island to a raised crossing facility. and providing a consider gateway treatment at the speed limit interchange which is 100m east of this refuge island.</p>	\$400,000
Matakana Valley Rd Crossing (By Courts) and gateway treatment	207 Matakana Valley Rd, Matakana	Public request	<p>Speed calming measures at the western entrance to Matakana Village to make it safer for pedestrians in the area. The residential subdivision opposite the tennis courts, the courts and pony club, and new subdivision being built south of the Diamond Jubilee Park mean there is a lot of pedestrian activity in this area.</p> <p>Solutions much be a driver feedback sign, gateway treatment to slow traffic down travelling from the west and coming from an 80 kph area into a 50 kph and a pedestrian refuge near the courts.</p> <p>(Was previously listed as a public request for a raised table zebra crossing request – the local board has revised this.) A cost estimate provided for a refuge island, but there is a risk that internal stakeholders will request a raised crossing during internal consultation.</p>	\$210,000
Puhoi Road Wheel stops	Puhoi Library Puhoi Road, Puhoi	Public request	<p>Long standing request by the Puhoi Community Forum to install wheel stops alongside their flush footpath between the library and the bridge, to prevent cars from parking over it and forcing pedestrians, strollers etc. to walk around cars on the roadside.</p>	\$56,000
Matakana Valley Road Wheel stops	56-84 Matakana Valley Road	Public request	<p>Request from the Matakana Community Group to install wheel stops alongside their flush footpath between 56 (No. 8 Wired) and approx. 84 Matakana Valley Road, to prevent cars from parking over it and forcing pedestrians, strollers etc. to walk around cars on the roadside.</p>	\$89,000



# Discussion on projects to deliver for 3-year term

## No contractual commitments

Project Name	Address	Project origin if known	Project Description/ Comments/ History	Cost estimate including design cost
Mahurangi College Signalised Crossing	2-30 Woodcocks Road, Warkworth	Public request	A request from both the One Mahurangi Business Association, and Mahurangi College, to signalise the existing pedestrian crossing outside the college at Woodcocks Road, to prevent school children from streaming across it constantly which creates major traffic holdups in the industrial area. A signalised crossing would hold the children back to cross in groups which would be both safer and allow traffic to flow more smoothly. AT has recently installed a raised zebra crossing to the west of this crossing location.	\$600,000
Mahurangi East Road Pedestrian Crossing	139 Mahurangi East Road, Snells Beach between the intersection with Governor Grey Road and Muncaster Ave	Public request	A request from the community for a raised table pedestrian crossing at the northern end of Mahurangi East Road, between the intersections of Governor Grey Road and Muncaster Ave, to improve the safety of children crossing at this point to catch the school bus. There is a bus stop in this location. <i>"Could a pedestrian refuge be considered here instead?"</i> A cost estimate provided for a refuge island, but there is a risk that internal stakeholders will request a raised crossing during internal consultation.	\$150,000
Cnr Hudson Rd & Falls Road	102 Hudson Road, Warkworth	Local board/ Councillor request	Intersection centre island to stop the intersection being used for donuts. This is in response to ongoing complaints and concern from residents on Falls Road re 'boy racer' activity. One resident was the victim of aggression from a driver, the resident ended up in hospital in a coma. Cost estimate based on a central traffic island. If speed calming on Falls Road is prioritised then this splitter island might not be required.	\$150,000



# Discussion on projects to deliver for 3-year term

## No contractual commitments

Project Name	Address	Project origin if known	Project Description/ Comments/ History	Cost estimate including design cost
Makarau Rd barrier	484 Makarau Rd, Makarau	Public request	<p>Cars falling into a stream by #484 had 3 loss of controls in the last year. Providing a new crash barrier adjacent to the river in the vicinity of 484 Makarau Road would require an extensive retaining structure to support the guardrail and provide sufficient road width.</p> <p>The two minor slips and road failures in the vicinity of the site will need to be repaired by the Maintenance Team.</p> <p>There is a risk that there might be a delay in getting the slips repaired by the maintenance team which could delay this project.</p>	\$250,000
Rimu Street, Helensville school children improvement	19-27 Rimu Street, Helensville	Local board/ Councillor request	<p>Yellow lines (no parking zone) outside number 19 – 27. This location is outside the second main entry to Helensville Primary School, an incredibly busy stretch of road around pickup and drop off time. Currently cars park on both sides of the road outside this gate during pickup/drop off, creating a very thin one-way street and forcing children to dart between cars to attempt to cross the road with little or no visibility for drivers or pedestrians. This is a request from the School and Parents and supported by local police.</p> <p>Option 1: BYL's with some minor improvements such as side islands - 150k</p> <p>Option 2: Pedestrian raised zebra crossing - \$375k</p>	\$150,000
Falls Road and Hill Street speed calming/ Mansel Drive speed calming	Falls Road and Mansel Drive, Warkworth	Local board/ Councillor request	<p>For speed calming interventions between Hill Street, Falls Road and Mansell Drive Warkworth such as gateway treatments and driver feedback signs.</p>	\$144,670



# Quality advice about the 3-year programme

- An indicative budget of **\$2.366m** has been set for Rodney Local Board 3-year term.
- The approved budget of **\$626k** will fund the full or partial completion of projects with contractual commitments.
- It is recommended that **\$633k** be allocated to complete projects that are construction ready.
- It is recommended that **\$370k** be allocated to continue with the design and construction of these design-only contractual commitments projects.

Project status	Projects	Approved additional budget	Funding required to be resolved to complete the project	Recommendation
Projects completed recently	Mansel Drive Raised pedestrian Xing Warkworth Primary School Raised Xing	\$250,000 \$300,000	-	Projects completed late August. Cost savings of 50k in total.
Under construction with contractual commitments	Point Wells Village Traffic calming	\$67,311	-	Continue to completion
Construction ready	Puhoi Village Red Carpet Matua Rd . Tapu Rd Intersection	\$8,335 -	\$3,500 \$630,000	Allocate \$633k funding from new term budget to complete construction of these projects
In design-only contractual commitments	Taupaki Road Pedestrian Xing outside Harry James Reserve Coatesville Riverhead Highway Pedestrian	- -	\$170,000 \$200,000	Allocate \$370k funding from new term budget to complete construction of these two projects

# Quality advice about the 3-year programme

- It is recommended that projects with no contractual commitments are prioritised and the remaining budget of **\$787,163** (including 50k savings) from the 3-year term is allocated to initiate highest priority projects.
- It is recommended that the board also provides a priority order for the remaining projects in case of any cost savings or alternative funding that becomes available.

Project status	Projects	Approved additional budget	Funding required to be resolved to complete the project	Recommendation
No contractual commitments	Rautawhiri Road raised crossing		\$400,000	Prioritise Rautawhiri Road, Matakana Valley Rd and Mahurangi East crossing projects to be funded from the new term budget.
	Matakana Valley Rd Crossing (By Courts) and gateway treatment		\$210,000	
	Mahurangi East Road Pedestrian Crossing		\$177,163	
	Matakana Valley Road Wheel stops		\$89,000	Not prioritised as there is insufficient budget for the Puhoi Rd WS, Matakana Valley WS, Mahurangi College, Makarau Rd barrier , Cnr Hudson Rd, Rimu St and Falls Rd/ Mansel Dr speed calming projects.
	Puhoi Road Wheel stops		\$56,000	
	Cnr Hudson Rd & Falls Road	-	\$150,000	
	Rimu Street, Helensville school children improvement		\$150,000	
	Falls Road and Hill Street speed calming/ Mansel Drive speed calming		\$70,663	
	Mahurangi College Signalised Crossing		\$600,000	
Makarau Rd barrier		\$250,000		



*Let's go there*



# Prioritisation Criteria

- As a reminder, projects that are funded using the LBTCF will meet the following criteria:
  - The project must be technically deliverable and within the road corridor.
  - Meets transport safety criteria.
  - Does not compromise the transport network.
  - Is not part of an asset renewal programme.
  - projects outside the road corridor can be funded provided the projects support the connectivity of cycleways and footpaths within the transport network.



# Memorandum

To: Rodney Local Board  
From: Beth Houlbrooke, Elected Member Relationship Partner  
Date: 13 September 2023  
Subject: **Auckland Transport Update**

## Purpose

1. To update the local board on a variety of transport related topics currently under action in Rodney.

## Discussion

### Rural Road Maintenance Update

2. A presentation on rural road maintenance was brought to the local board for your 9 August 2023 Workshop. Regular monthly reports are now being distributed to the local board, the most recent for August sent on 6 September. A copy of this report is attached to this memo.

### Storm Recovery

3. Updates on the status of storm recovery projects are provided weekly through the SitRep report, published fortnightly on Thursdays. The SitRep report is for internal use only, please continue to refer constituents to the website [www.at.govt.nz/roadrepairs](http://www.at.govt.nz/roadrepairs) for publicly available information.
4. A drop-in session on Auckland Council's draft Storm Recovery Plan was held in Puhoi on Wednesday 16 August 2023 at the Puhoi Centennial Hall. Auckland Transport staff participated to answer questions and took some queries away on local issues concerning Krippner Road and Ahuroa Road. These are being worked through with the residents concerned. Members Holdgate and Smith also attended.
5. Auckland Council is planning to engage further with the Ahuroa community in the very near future and has invited Auckland Transport staff again to participate. This community is currently cut off from Puhoi due to the closure of Ahuroa Road and the school in particular is affected with a loss of students for whom the detour is too long.

### Local Board Transport Capital Fund (LBTCF) – Current Programme

6. Below is an update on the current LBTCF programme:

RODNEY LOCAL BOARD TRANSPORT CAPITAL FUND PROJECTS 2022/2023 PROJECT MANAGERS – RAHUL GOWTHAM and GURJANT SINGH		
Project name	Update	Expected construction start
Matua Rd / Tapu Rd Intersection	<b>Detailed Design has been completed, Issue For Construction drawings have been issued. Resolution report /plan is still in approval process. Additional budget required for construction and to be approved by the local board.</b>	TBA 2023, subject to budget approval



# Memorandum

Mansel Drive Raised pedestrian crossing	<b>Construction complete</b>	
Warkworth Primary School Raised Crossing/Traffic Calming	<b>Construction complete</b>	
Coatesville Riverhead Highway Pedestrian Crossing outside shops	<b>Currently in design phase.</b> Construction is now forecasted to start in <b>October</b> as this is being delivered at the same time as the Rodney Local Board Transport Targeted Rates (RLBTTR) footpath project nearby.	<b>October-December 2023</b>
Kaipara Coast Highway, Kaukapakapa Pedestrian crossing outside school	<b>Project is now being delivered through the RLBTTR due to loss of LBTCF budget last year. Project is now being delivered by Ha Nguyen.</b>	August 2023
Raised Zebra Rodney St outside the Wellsford Library	Still awaiting further engagement with Waka Kotahi before design can progress	Next financial year if Waka Kotahi agrees (early 2024)
Taupaki Road Pedestrian Crossing outside Harry James Reserve	Waka Kotahi do not support raised table design in 60km/hr zone. Further investigation has been completed to find the most feasible/appropriate crossing option. Two Alternative options were brought to the local board workshop of 14 June and Option 1: Kerb Extension and Raised Refuge Island, was the preferred option and will proceed.	<b>On hold subject to budget approval</b>
Leigh School raised crossing/school zone signage	Project is now being delivered through the RLBTTR due to loss of LBTCF budget last year. Public consultation closed out in June. AT will resolve concerns raised by community and local board at 13 September workshop	<b>February-April 2024</b>
Point Wells Village traffic calming measures as identified in the Point Wells Community and Ratepayers Association Traffic Management plan	Design completed. Public consultation in progress. Contractor procurement to be completed in June.	Road Markings/Signage installed. Driver feedback sign to be completed in September
Motutara Rd driver feedback signs	<b>Completed in April 2023 (apologies for an error in the previous month's update which incorrectly stated it had been delayed).</b>	

# Memorandum

Puhoi Village red carpet	Contract awarded	Construction to be completed in Sept/October 2023
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## Local Board Transport Capital Fund (LBTCF) – Forward Programme

7. The LBTCF team are presenting a third workshop with the local board on Wednesday 13 September to discuss the impacts of the reduced budget on the chosen projects and to fine-tune the list of priority projects that the local board would like to proceed with.

## Rodney Local Board Transport Targeted Rate (RLBTTR)

8. Footpath construction is underway in a number of locations. Subdivision members have been forwarded the Works Notification letters informing the start dates of these.

9. In Kumeū:

- Alice Street (under construction)
- King Street (under construction)
- Matua Road (complete)
- Tapu Road (complete)
- York Terrace (complete)
- Princes Street East (complete)
- Princes Street West (complete)
- George Street (complete)

10. In Dairy Flat:

- Dairy Flat Highway to Postman Road (complete)

11. In Warkworth:

- Pakiri Road, Leigh

12. In Wellsford:

- School Road

13. Wharehine have been awarded the works for the following projects:

- Wech Drive, Warkworth
- Leigh Road, Whangateau

14. We are finalising the contracts with Wharehine for:



# Memorandum

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- Albert Street, Leigh
- Puhoi Road, Puhoi
- Goodall Road, Snells Beach
- Rodney Street, Wellsford

## 15. Coming up:

Auckland Transport will attend a future workshop to discuss the on-demand/shuttle bus and unsealed road improvement options that could be funded from the RLBTTTR for the Warkworth subdivision.

## Current Consultations

16. There are no currently open consultations for Rodney-specific transport projects.

17. Regional consultations have recently closed for:

- Regional Public Transport Plan 2023-2031 (RPTP) – closed 17 August 2023
- Katoa, Ka Ora Draft Speed Management Plan for Auckland – closed 28 August 2023

18. Details of recently closed consultations can be found on the Auckland Transport website here: <https://at.govt.nz/about-us/have-your-say/>



Dated 8th OCTOBER

2010

## DEED FOR GIFT OF LAND

Between

**THE HELENSVILLE DISTRICT RACING CLUB  
INCORPORATED**

And

**RODNEY DISTRICT COUNCIL**

**BUDDLEFINDLAY**

THIS DEED is dated the 8th day of October 2010

**BETWEEN** THE HELENSVILLE DISTRICT RACING CLUB INCORPORATED (the "Racing Club")

**AND** RODNEY DISTRICT COUNCIL (the "Council")

#### BACKGROUND

- A The Racing Club is registered as proprietor of an estate in fee simple in the land as described and comprised in certificates of title, NA83A/905 and 4A/420 (the "Land").
- B The Racing Club wishes to gift the Land to the Council so that the Council may designate the Land as a recreation reserve in accordance with the Reserves Act 1977 for the benefit of the people of Helensville and New Zealand. That gift is to be effected on the terms set out in this deed.
- C The parties have entered into this deed to record the gift of the Land.

#### THE PARTIES AGREE:

##### 1. INTERPRETATION

- 1.1 In this Deed unless the context indicates otherwise:

"The Council" means the Rodney District Council and includes its successors;

"Land" means the land described in the First Schedule;

"Lease" means the lease dated 13 October 2003 between the Racing Club as Landlord and the Helensville Agricultural & Pastoral Association Inc as Tenant and any subleases given by the Tenant pursuant to that lease.

"Racing Club" means the Helensville District Racing Club Incorporated and its successors.

- 1.2 **Headings:** section, clause and other headings are for ease of reference only and shall not be deemed to form any part of the context or to affect the interpretation of this Deed;
- 1.3 **Plural and Singular:** words importing the singular number shall include the plural and vice versa;
- 1.4 **Schedules:** the schedules to this Deed and the provisions and conditions contained in such schedules shall have the same effect as if set out in the body of this Deed;
- 1.5 **Parties:** references to parties are references to parties to this Deed;
- 1.6 **Sections, Clauses and Schedules:** references to sections, clauses and schedules are references to sections, clauses and schedules respectively of this Deed;

- 1.7 **Persons:** references to persons shall be deemed to include references to individuals, companies, corporations, firms, partnerships, joint ventures, associations, organisations, trusts, states or agencies of state, government departments and local and municipal authorities in each case whether or not having separate legal personality;
- 1.8 **Defined Expressions:** expressions defined in the main body of this Deed bear the defined meaning in the whole of this Deed including the background;
- 1.9 **Negative Obligations:** any obligation not to do anything shall be deemed to include an obligation not to suffer, permit or cause that thing to be done;
- 1.10 **Gender:** words importing one gender shall include the other gender; and
- 1.11 **Statutes and Regulations:** references to a statute include references to regulations, orders or notices made under or pursuant to such statute and references to a statute or regulation include references to all amendments to that statute or regulation whether by subsequent statute or otherwise and a statute or regulation passed in substitution for the statute or regulation referred to or incorporating any of its provisions.

## TERMS OF THIS DEED

### 2. GIFT OF LAND

- 2.1 With effect from the date of this Deed, the Racing Club gives the Land to the Council absolutely.
- 2.2 The Council in accepting the gift of the Land from the Racing Club agrees to accept the Land and to:
- (a) hold the Land for the purpose of a recreation reserve for the benefit of the people of Helensville and New Zealand;
  - (b) vest the Land as a recreation reserve under the Reserves Act 1977.
- 2.3 The Council will take title to the Land by any of the following:
- (a) agreement under section 86 of the Resource Management Act 1981;
  - (b) declaration under section 20 of the Public Works Act 1981;
  - (c) memorandum of transfer under the Land Transfer Act 1952.
- 2.4 The Racing Club will execute all instruments by way of dedication or transfer which may be necessary, and will produce all documents and will do and obtain all things on its part necessary to transfer the Land to Council and from the date of this Deed to vest the Land in or to the Council free of all encumbrances and interests other than the Lease.
- 2.5 Without limiting the general effect of clause 2.4, the Racing Club will also obtain all necessary consents under or discharges of all mortgages, charges, caveats, leases or subleases and other registered and unregistered interests required to vest or transfer the Land free of all encumbrances and interests other than the Lease.

*EMR* *RTK*

**3. SURVEY**

- 3.1 The Council at its expense shall prepare such survey plans as are necessary to give effect to this Deed, and will be entitled to access any part of the Land as required for this purpose.

**4. NOTICES**

- 4.1 The Racing Club will give notice of the transfer of the Land to the territorial authority having jurisdiction over it.

**5. COSTS**

- 5.1 The Council will pay to the Racing Club all its reasonable legal, valuation and survey expenses and disbursements incurred in respect of the preliminary matters leading to the negotiation and execution of this Deed and the transfer or vesting of the Land.

**6. FURTHER ASSURANCE AND CONTRACTORS**

- 6.1 The Racing Club will at the request and the cost of the Council do and execute all such acts, deeds, matters and things as may be required for the purpose of vesting or transferring the Land in or to the Council as provided in this Deed free of all encumbrances and interests.

- 6.2 The Council is entitled to exercise all its rights under this Deed by itself, its employees, or its contractors.

**7. NON-MERGER**

- 7.1 The agreements, obligations and warranties of the parties in this Deed shall not merge with the transfer or vesting of title to the Land to or in the Council.

**8. THE COUNCIL AS TERRITORIAL AUTHORITY**

- 8.1 The Council has entered into this Deed in its non-regulatory capacity. This Deed does not bind the Council in its capacity as a regulatory authority in any way, and any consent or agreement the Council gives under this Deed is not an agreement or consent in its regulatory capacity and vice versa. When acting in its regulatory capacity, the Council is entitled to consider all applications to it without regard to this Deed. The Council will not be liable to any other party if, in its regulatory capacity, the Council declines or imposes conditions on any consent or permission any party seeks for any purpose associated with this Deed.

**9. INDEMNITY**

- 9.1 Section 73(2)(kb) of the Estate and Gift Duties Act 1968 applies to gifts made to an organisation that is a local authority and that is not carried on for the private pecuniary profit of any individual and applies to the gift made under this deed. For the avoidance of doubt however, and to the extent that this is necessary the Council indemnifies the Racing Club and undertakes to keep the

*PK*  
*EmK*  
*ATK*

Racing Club at all times fully and effectively indemnified from and against any loss suffered or monies payable on account of any imposition of gift duty under that Act and/or in respect of any Goods and Services Tax that might be payable under the Goods and Services Tax Act 1985 as a direct consequence of the transfer of the Land under this deed.

**10. DELIVERY**

10.1 Without limiting any other mode of delivery this Deed will be delivered by each party to this Deed on the earlier of:

- (a) physical delivery of an original of this Deed, executed by that party, into the custody of the other party or its solicitors;
- (b) transmission by that party or its solicitors of a facsimile, photocopied or scanned copy of an original of this Deed, executed by that party, to the other party or its solicitors.



EXECUTION

THE COMMON SEAL of THE RODNEY DISTRICT COUNCIL was hereby affixed under the authority of the Council:



*John Rames*  
Deputy Mayor/Chairman/Chief Executive  
DEMOCRACY SERVICES MANAGER

*P. O. Gorman*  
City Secretary/Committee Member/Chief Executive  
EXECUTIVE MANAGER

EXECUTED as a DEED for and on behalf )  
of THE HELENSVILLE DISTRICT )  
RACING CLUB INCORPORATED

*Len Keith*  
Director Secretary

*R. J. Kidd*  
Director Committee Member



*[Signature]*  
Committee Member

FIRST SCHEDULE

Land

1. 1 acre 3 roods 19 perches (or 7563 m<sup>2</sup>) more or less being Lot 1 Deposited Plan 46400 and being part Otamateanui Block in certificate of title 4A/420.
2. 28.3508 hectares more or less being Part Lot 1 Deposited Plan 41271, Lot 1-2 Deposited Plan 89976 and Lot 6 Deposited Plan 140029 and being the land in certificate of title NA83A/905.

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# DEED OF LEASE

FOURTH EDITION 2002 (2)

DEED made the 13<sup>th</sup> day of October 2003

LANDLORD HELMSVILLE DISTRICT RACING CLUB INC

TENANT HELMSVILLE AGRICULTURAL & PASTORAL ASSOCIATION INC

## GUARANTOR

THE LANDLORD leases to the Tenant and the Tenant takes on lease the premises and the carparks (if any) described in the First Schedule together with the right to use:

- a) The Landlord's fixtures and fittings contained in the premises.
- b) The common areas of the property.

FOR the term from the commencement date and at the annual rent (subject to review if applicable) as set out in the First Schedule: \_\_\_\_\_

THE LANDLORD AND THE TENANT covenant as set out in the Second Schedule.

THE GUARANTOR covenants with the Landlord as set out in the Third Schedule.

SIGNED by the Landlord \*

in the presence of:

Witness Signature

R.J. Allison  
Legal Executive  
Sellars & Co  
Helmsville

Witness Occupation

Witness Address

R.J. Kidd

Signature of Landlord

RICHARD JULIAN KIDD COMMITTEE MEMBER  
Print Full Name  
(For a Company Specify Description  
Director/Attorney/Authorised Signatory)

Signature of Landlord

CLIVE WALTER THOMPSON COMMITTEE MEMBER  
Print Full Name  
(For a Company Specify Description  
Director/Attorney/Authorised Signatory)

\* If appropriate, add:

"by its director(s)" OR "by its duly appointed attorney"

**Note:** This document must be executed by a company according to its Constitution. If two directors sign, no witnessing is necessary. If only one director or a director and secretary or authorised signatory(ies) or attorney, sign, signatures must be witnessed.



SIGNED by the Tenant  
in the presence of:

[Signature]  
Witness Signature

Witness FINA Allison  
Legal Executive  
Sellers & Co  
Witness Holensville

Witness Address

[Signature] (President)  
Signature of Tenant

STENA LEANNE ANDISON  
Print Full Name  
(For a Company Specify Description  
Director/Attorney/Authorised Signatory)

[Signature] (Secretary)  
Signature of Tenant

Caedra Jean Ashton  
Print Full Name  
(For a Company Specify Description  
Director/Attorney/Authorised Signatory)

[Signature] - SWD MEM ERIC SMITH  
COMMITTEE

SIGNED by the Guarantor \*  
in the presence of:

Witness Signature

Witness Name

Witness Occupation

Witness Address

Signature of Guarantor

Print Full Name  
(For a Company Specify Description  
Director/Attorney/Authorised Signatory)

Signature of Guarantor

Print Full Name  
(For a Company Specify Description  
Director/Attorney/Authorised Signatory)

\* If appropriate, add:

"by its director(s)" OR "by its duly appointed attorney"

Note: This document must be executed by a company according to its Constitution. If two directors sign, no witnessing is necessary. If only one director or a director and secretary or authorised signatory(ies) or attorney, sign, signatures must be witnessed.

## DEED OF LEASE FIRST SCHEDULE

**PREMISES :** All that parcel of land comprising ;

1. 28.35 hectares being Lot 1 DP 41271, Lots 1 & 2 DP 89976 & Lot 6 DP 140029 comprised in Certificate of Title 83A/905
2. 7563m2 being lot 1 DP 46400 comprised in Certificate of Title 4A/420
3. Including the area commonly known as the "grass track" and "sand based track". Reference 8.2
4. Grazing and fertilizer to be under management of the Agricultural & Pastoral Society. Term as per schedule.

**TERM :** ~~Nineteen (19) years~~ Thirty four (34) years 364 days

**COMMENCEMENT DATE :** 1<sup>ST</sup> December 2001

**RIGHTS OF RENEWAL:** ~~Two (2) further terms of ten (10) years each~~ NIL

**RENEWAL DATES:** ~~1<sup>st</sup> December 2010 and 2020~~

**FINAL EXPIRY DATE:** ~~1<sup>st</sup> December 2020~~ 30th day of November 2036

**ANNUAL RENT:** \$100 plus GST

**ANNUAL TRACK FEES** \$100 plus GST

**RENT PAYMENT DATE:** 1<sup>st</sup> day of December each year commencing on the 1<sup>st</sup> December 2002

**ANNUAL TRACK FEES DATE** 1<sup>st</sup> day of December each year commencing on the 1<sup>st</sup> December 2002

**RENT REVIEW DATES:** Not applicable

**PROPORTION OF OUTGOINGS:** 100%

**DEFAULT INTEREST RATE:** 10% per annum (clause 3)

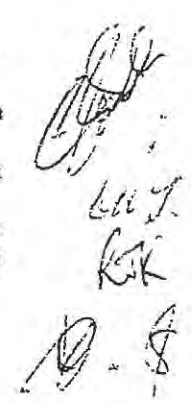
**BUSINESS USE:** The Land and buildings to be at the discretion of the Helensville Agricultural and Pastoral Association

**IMPROVEMENTS RENT PERCENTAGE:** 10% (clause 19)

**INSURANCE:** Indemnity to full insurable value (clause 7)

### OUTGOINGS (CLAUSE 1)

1. Rates or levies payable to any local or territorial authority.
2. Charges for water electricity telephones and other utilities or services, including line charges
3. Rubbish collection charges.
4. New Zealand Fire Service charges and the maintenance charges in respect of all fire detection and fire fighting equipment.
5. Insurance premiums and related valuation fees and any insurance excess in respect of a claim but not exceeding \$500. (clause 7)
6. Cleaning maintenance and repair charges including charges for repainting, decorative repairs and the maintenance and repair of building services to the extent that such charges do not



comprise part of the cost of a service maintenance contract, but excluding charges for structural repairs to the building. (minor repairs to the roof of the building shall not be a structural repair).

7. The provisioning of toilets and other shared facilities.
8. The cost of ground maintenance i.e. lawns gardens and planted areas including plant hire and replacement, and the cost of repair of fences.
9. Yard and car parking area maintenance and repair charges but excluding charges for structural repairs to any car parking area of the building.
10. Body Corporate charges for insurance premiums and related valuation fees and management administration expenses.
11. Management expenses.
12. Fertilizer and weed control.
13. Waterline and trough maintenance.

## SECOND SCHEDULE

### TENANT'S PAYMENTS

#### Outgoings

- 1.1 THE Tenant shall pay the outgoings properly and reasonably incurred in respect of the property which are specified in the First Schedule. Where any outgoings is not separately assessed or levied in respect of the premises then the Tenant shall pay such proportion thereof as is specified in the First Schedule or if no proportion is specified then such fair proportion as shall be agreed or failing agreement determined by arbitration.
- 1.2 THE Landlord may vary the proportion of any outgoing payable to ensure that the tenant pays a fair proportion of the outgoing.
- 1.3 IF any outgoing is rendered necessary by another tenant of the property or that tenant's employees, contractors or invitees causing damage to the property or by another tenant failing to comply with that tenant's leasing obligations, then such outgoing shall not be payable by the Tenant.
- 1.4 THE outgoings shall be apportioned between the Landlord and the Tenant in respect of periods current at the commencement and termination of the term.
- 1.5 THE outgoings shall be payable on demand or if required by the Landlord on each rent payment date.
- 1.6 AFTER the 31<sup>st</sup> March in each year of the term or such other date in each year as the Landlord may specify, and after the end of the term, the Landlord shall supply to the Tenant reasonable details of the actual outgoings for the year or period then ended. Any over payment shall be credited or refunded to the Tenant and any deficiency shall be payable to the Landlord on demand.
- 1.7 THE Tenant's liability to pay outgoings during the term shall subsist notwithstanding the end or earlier termination of the term.
- 1.8 SUBJECT The Tenant shall be liable to pay only those outgoings specified in the First Schedule.
- 1.9 ANY profits derived by the Landlord and if a company by its shareholders either directly or indirectly from the management of the property shall not comprise part of the management expenses payable as a outgoing.
- 1.10 THE Tenant shall effect and will at all times keep in force a rural fire cover eg. public liability, a third party vehicle policy.
- 1.11 THE Tenant shall be responsible for the pavilion, horse measuring shed and toilet block, green stables, half round barn and old commentary box. (clause 8)

1.12 THE tenant to set track fees and advertise in such a way that track users will know the cost of using the track, rules, whether the tracks are open or closed and to whom and when payment should be made. The Tennant to pay the Landlord \$100 of collected track fees by 1<sup>st</sup> December

#### **Goods and Service Tax**

2.1 THE Tenant shall pay to the Landlord or as the Landlord shall direct the Goods and Services Tax payable by the Landlord in respect of the rental and other payments payable by the Tenant hereunder. The tax in respect of the rental shall be payable on each occasion when any rental payment falls due for payment and in respect of any other payment shall be payable upon demand.

2.2 IF the Tenant shall make default in payment of the rental or other moneys payable hereunder and the Landlord becomes liable to pay additional Goods and Services Tax then the Tenant shall on demand pay to the Landlord the additional tax.

#### **Interest on Unpaid Money**

3.0 If the Tenant defaults in payment of the rent or other moneys payable hereunder for 14 days then the Tenant shall pay on demand interest at the default interest rate on the moneys unpaid from the due date for payment to the date of payment.

#### **Costs**

4.0 THE Tenant shall pay the Landlord's solicitors reasonable costs of and incidental to the preparation of this lease and any variation or renewal of any Deed recording a rent review, and the Landlord's legal costs (as between solicitor and client) of and incidental to the enforcement or attempted enforcement of the landlord's rights remedies and powers under this lease.

#### **Indemnity**

5.1 THE Tenant shall indemnify the Landlord against all damage to the property and any consequential loss suffered by the Landlord resulting from any act or omission of the Tenant or of persons under the control of the Tenant. The Tenant shall be liable to indemnify only to the extent that the Landlord is not fully indemnified under any policy of insurance.

5.2 THE Landlord shall indemnify the Tenant, for the cost of making good damage to the property where the Tenant is obligated to make good the damage and such indemnity shall also extend to any consequential loss suffered by the Landlord, but only to the extent that the Landlord is indemnified under any policy of insurance.

#### **LANDLORD'S PAYMENTS**

##### **Outgoings**

6.0 SUBJECT to the Tenants compliance with the provisions of clause 1 the Landlord shall pay all outgoings in respect of the property not payable by the Tenant direct. The Landlord shall be under no obligation to minimise any liability by paying any outgoing or tax prior to receiving payment from the Tenant.

##### **Insurance**

7.1 THE Landlord shall at all times during the term keep and maintain adequate public liability.

7.2 THE Landlord shall at all times during the term keep and maintain any buildings on the property insured under a policy of the type shown in the First Schedule against loss damage or destruction by fire and such other risks as the Landlord may reasonably determine and such cover may extend to

- (a) a 12 month indemnity in respect of consequent loss of rent and outgoings
- (b) loss damage or destruction of any of the Landlord's fixtures fittings and chattels, or
- (c) public liability.

## MAINTENANCE AND CARE OF PREMISES

### Tenant's Obligations

- 8.1 THE Tenant shall (subject to any maintenance covenant by the Landlord) in a proper and workmanlike manner and to the reasonable requirements of the Landlord:
- (a) **Maintain the premises**

Keep and maintain the interior of the premises including the landlord's fixtures and fittings in the same clean order repair and condition as they were in at the commencement of this lease and will at the end or earlier determination of the term quietly yield up the same in the like clean order repair and condition. In each case the Tenant shall not be liable for fair wear and tear arising from reasonable use or damage by fire earthquake flood storm act of God inevitable accident or any risk against which the Landlord is insured unless the insurance moneys are rendered irrecoverable in consequence of any act or default of the Tenant's agents employees contractors or invitees.
  - (b) **Breakages and Damage**

Repair all glass breakages and breakages or damage to all doors windows light fittings and power points of the premises and shall keep that portion of the electrical system of the premises from the switchboard to all power outlets in good operating condition. This provision shall apply notwithstanding any other provision in this lease except for clause 8.4
  - © **Painting**

Paint and decorate those parts of the interior and exterior of the premises which have previously been painted and decorated when the same reasonably require repainting and redecoration as approved by the Landlord.
  - (d) **Floor coverings**

Keep all floor coverings in the premises clean and replace all floor coverings worn or damaged other than by fair wear and tear with floor coverings of a similar quality when reasonably required by the Landlord.
  - (e) **Make good defects**

Make good any damage to the property caused by improper careless or abnormal use by the Tenant or those for whom the Tenant is responsible. This provision shall apply, notwithstanding any other provision in this lease, except for clause 8.4
- 8.2 Where the Tenant is leasing all of the property the Tenant shall:
- (a) **Maintain yards and fences**

Keep and maintain any surfaced areas and all fences in good order and repair.
  - (b) **Care of grounds**

Keep any grounds yards running rails, gates to track and surfaced areas in a tidy condition and maintain any garden or lawn areas in a tidy and cared for condition. This also applies to the area commonly known as the "grass track" and "sand based track" so trainers can use the tracks when required.
  - © **Water and drainage**

Keep and maintain floodgates, underground drains, the storm or waste water drainage system including downpipes and guttering clear and unblocked.
- 8.3 THE Tenant shall not be liable for the maintenance or repair of any building service the subject of a service maintenance contract but this clause shall not release the Tenant from any obligation to pay for the cost of any such contract or charges in respect of any such maintenance or repair.
- 8.4 The Tenant shall not be obligated to make good damage to the property, nor shall the Tenant be liable for any consequential loss suffered by the Landlord, where the Landlord is insured against such damage or loss, unless the Landlord indemnifies or agrees to indemnify the Tenant in accordance with clause 5.2
- 8.5 NOTWITHSTANDING any other provision of this lease the Tenant shall not be liable to repair any inherent defect in the premises or the landlord's fixtures and fittings nor to pay any outgoings incurred by the Landlord in remedying any inherent defect.
- 8.6 IF the Landlord shall give the tenant written notice of any failure on the part of the tenant to comply with any of the requirements of clause 8 the Tenant shall with all reasonable speed so comply.



#### **Toilets**

9. THE toilet sinks and drains shall be used for their designed purposes only and no substance or matter shall be deposited in them which could damage or block them.

#### **Rubbish Removal**

10. THE Tenant shall regularly cause all of the Tenant's rubbish and garbage to be removed from the premises and will keep the Tenant's rubbish bins or containers in a tidy condition. The Tenant will also at the Tenant's own expense cause to be removed all trade waste boxes and other goods or rubbish not removable in the ordinary course by the local authority.

#### **Notification of Defects**

11. THE Tenant shall give to the Landlord prompt notice of any accident to or defect in the premises of which the Tenant may be aware and in particular in relation to any pipes or fittings used in connection with the water electrical gas or drainage services.

#### **Landlord's Right of Inspection**

12. THE Landlord may at all reasonable times enter upon the premises to view their condition.

#### **Landlord may Repair**

13. IF default shall be made by the Tenant in the due and punctual compliance with any repair notice given by the Landlord pursuant to this lease, or if any repairs for which the Tenant is responsible require to be undertaken as a matter of urgency then without prejudice to the Landlord's other rights and remedies expressed or implied the Landlord may by the Landlord's ~~employees and contractors with all necessary equipment and material at all reasonable times~~ enter upon the premises to execute such works. Any moneys expended by the Landlord in executing such works shall be payable by the Tenant to the Landlord upon demand together with interest thereon at the default interest rate from the date of expenditure to the date of payment.

#### **Access for Repairs**

14. THE Tenant shall permit the Landlord and the Landlord's employees and contractors at all reasonable times to enter the premises to carry out repairs to the premises or adjacent premises and to install inspect repair renew or replace any services where the same are not the responsibility of the Tenant all such repairs inspections and work to be carried out with the least possible inconvenience to the Tenant.

### **USE OF PREMISES**

#### **Business use**

- 15.1 THE use of all land and buildings to be at the discretion of the Helensville Agricultural and Pastoral Association,  
15.2 If any change in use requires compliance with Section 46 of the Building Act 1991 the Landlord as a condition of granting consent, may require the Tenant to comply with Section 46 of the Act and to pay all compliance costs.

#### **Lease of Premises and Carparks Only**

16. The tenancy shall relate only to the premises and the carparks.

#### **Neglect of Other Tenant**

17. The Landlord shall not be responsible for any of their Tenants default damage or neglect.

#### **Additions and Alterations**

18. The Tenant when undertaking any "building work" to the premises (as the term is defined in the Building Act 1991), shall comply with all statutory requirements including the obtaining of building consents and code compliance certificates pursuant to the Act.

#### **Compliance with Statutes and Regulations**

- 19.1 The Tenant shall ~~comply with the provisions of all statutes, ordinances, regulations and by-laws relating to the use of the premises~~ by the Tenant and will comply with the provisions of all

licences, requisitions and notices issued by any competent authority in respect of the premises or their use by the Tenant.

- 19.2 If the Landlord is obliged by any such legislation or requirement to expend moneys on any improvements addition or alteration to the property then the Landlord in consultation with the Tenant shall be entitled to charge to the Tenant the said costs.

#### **No Noxious Use**

20. The Tenant shall not

- a. bring upon or store within the premises nor allow to be brought upon or stored within the premises any machinery goods or things of an offensive noxious illegal or dangerous nature, or such weight size or shape as is likely to cause damage to the building or surfaced area.
- b. Contaminate the property and shall undertake all works necessary to remove any contamination of the property other than contamination which took place prior to the commencement date of the lease term. Contamination means any change to the physical chemical or biological condition of the property by a "contaminant" as that word is defined in the Resource Management Act 1991.
- c. Use the premises or allow them to be used for any noisome noxious illegal or offensive trade or business, or
- d. Allow any act or thing to be done which may be or grow to be a nuisance disturbance or annoyance to the Landlord, other tenants of the property, or any other person, and generally the Tenant shall conduct the Tenant's business upon the premises in a clean quite and orderly manner free from damage nuisance disturbance or annoyance to any such persons but the carrying on by the Tenant in a reasonable manner of the business use or any use to which the Landlord has consented shall be deemed not to be a breach of this clause.

#### **Tenant not to Void Insurance**

21. The Tenant shall not carry on or allow upon the premises any trade or occupation or allow to be done any act or thing which
- (a) shall make void or voidable any policy of insurance on the property or
  - (b) may render any increased or extra premium payable for any policy of insurance except where in circumstances in which any increased premium is payable the tenant shall have first obtained the consent of the insurer of the premises and the Landlord and make payment to the insurer of the amount of any such increased or extra premium as may be payable but the carrying on by the Tenant in a reasonable manner of the business use or of any use to which the Landlord has consented shall be deemed not to be a breach of this clause.

In any case where in breach of this clause the tenant has rendered any insurance less effective or void and the Landlord has suffered loss or damage thereby the Tenant shall forthwith compensate the Landlord in full for such loss or damage.

#### **DAMAGE TO OR DESTRUCTION OF PREMISES**

##### **Total Destruction**

22. If the premises or any portion of the building of which the premises may form part shall be destroyed or so damaged
- (a) as to render the premises untenable then the term shall at once terminate or
  - (b) in the reasonable opinion of the Landlord as to require demolition or reconstruction, then the Landlord may within 3 months of the date of damage give the Tenant 1 months written notice to terminate and a fair proportion of the rent and outgoings shall cease to be payable as from the date of damage.

Any termination pursuant to this clause shall be without prejudice to the rights of either party against the other.

##### **Partial Destruction**

- 23.I If the premises or any portion of the building of which the premises may form part shall be damaged but not so as to render the premises untenable and

- (a) the Landlord's policy or policies of insurance shall not have been invalidated or payment of the policy moneys refused in consequence of some act or default of the tenant and
- (b) all the necessary permits and consents shall be obtainable.

THEN the Landlord shall with all reasonable speed expend all the insurance moneys received by the Landlord in respect of such damage towards repairing such damage or reinstating the premises and/or the building but the Landlord shall not be liable to expend any sum of money greater than the amount of the insurance money received.

- 23.2 Any repair or reinstatement may be carried out by the Landlord using such materials and form of construction and according to such plan as the Landlord thinks fit and shall be sufficient so long as it is reasonably adequate for the Tenant's occupation and use of the premises.
- 23.3 Until the completion of the repairs or reinstatement a fair proportion of the rent and outgoings shall cease to be payable as from the date of damage.
- 23.4 If any necessary permit or consent shall not be obtainable or the insurance moneys received by the Landlord shall be inadequate for the repair or reinstatement then the term shall at once terminate but without prejudice to the rights of either against the other.

#### **DEFAULT**

##### **Distress**

- 24. The Landlord may distrain for rent or moneys payable under this lease remaining unpaid 14 days after due date.

##### **Re-entry**

- 25. **THE** Landlord may re-enter the premises at the time or at any time thereafter
  - (a) if the rent shall be in arrear 14 days after any of the rent payment dates,
  - (b) In case of breach by the Tenant of any covenant or agreement on the Tenant's part herein expressed or implied,
  - (c) If the Tenant shall make or enter into or endeavour to make or enter into any composition assignment or other arrangement with or for the benefit of the Tenant's creditors,
  - (d) In the event of the insolvency bankruptcy or liquidation of the Tenant,
  - (e) If the Tenant shall suffer distress or execution to issue against the Tenant's property goods or effects under any judgment against the Tenant in any Court for a sum in excess of five thousand dollars (\$5000)and the term shall terminate on such re-entry but without prejudice to the rights of either party against the other.

##### **Essentiality of Payments**

- 26.1 **FAILURE** to pay rent or other moneys payable hereunder on the due date shall be a breach going to the essence of the Tenant's obligations under the Lease. The tenant shall compensate the Landlord and the Landlord shall be entitled to recover damages from the Tenant for such breach. Such entitlement shall subsist notwithstanding any determination of the lease and shall be in addition to any other right or remedy which the Landlord may have.
- 26.2 **THE** acceptance by the Landlord of arrears of rent or other moneys shall not constitute a waiver of the essentiality of the Tenant's continuing obligation to pay rent and other moneys.

##### **Repudiation**

- 27. **THE** Tenant shall compensate the Landlord and the Landlord shall be entitled to recover damages for any loss or damage suffered by reason of any acts or omissions of the Tenant constituting a repudiation of the lease or the Tenant's obligations under the lease. Such entitlement shall subsist notwithstanding any determination of the lease and shall be in addition to any other right or remedy which the Landlord may have.

#### **REMOVAL OF TENANT'S FIXTURES, FITTINGS AND CHATTELS**

- 28.1 **THE** Tenant may at any time before and will if required by the Landlord at the end or earlier termination of the term remove all the Tenant's fixtures fittings and chattels and make good at the Tenant's own expense all resulting damage and if not removed within 7 days after the date of

### **Interpretation**

#### **39. IN this lease**

- (a) "the Landlord" and the "Tenant" means where appropriate the executors, administrators, successors and permitted assigns of the Landlord and the Tenant.
- (b) "the property" and "the building" mean the land and building(s) of the Landlord which comprise or contain the premises. Where the premises are part of a unit title development the words "the property" mean the land and building(s) comprised in the development.
- (c) "the common areas" means those parts of the property the use of which is necessary for the enjoyment of the premises and which is shared with other tenants and occupiers.
- (d) "GST" means the Goods and Service Tax.
- (e) "structural repair, alteration or addition" means a repair, alteration or addition to the structure or fabric of the building but excluding building services.
- (f) "renewal" means the granting of a new lease as provided for in clause 30.
- (g) Whenever words appear in this lease that also appear in the First Schedule then those words shall mean and include the details supplied after them in the First Schedule.
- (h) Where the context requires or admits, words importing the singular shall import the plural and vice versa.

### **Further Terms and Conditions**

**40.1** THE Landlord shall permit the Tenant during the term hereof or any extended term to erect on the demised land any buildings fixtures or structures required by the Tenant for the purposes of the Agricultural and Pastoral Association PROVIDED that the Landlord shall approve the general design of any such buildings, fixtures and structures prior to the erection thereof. The Landlord shall further permit the Tenant at the determination of the term or of any renewed terms hereof to remove all such buildings fixtures and structures at its the Tenants own cost PROVIDED that all such buildings, fixtures and structures shall be removed within (6) calendar months of the expiry or determination of the said term or renewed term.

**40.2** IN the event of the sale of the demised land during the term or during any renewed term hereof the Tenant shall have the right to remove its buildings fixtures and structures in terms of the proceeding clause hereof and the Tenant shall thereupon be released from all liability for its obligations hereunder except in respect for any antecedent breach of covenant.

### **Caveat / Registration**

**41.** THE tenant may to protect its interest in the said land lodge a caveat and/or register this lease against the titles to the premises PROVIDED HOWEVER that it shall not arbitrarily or unreasonably without its consent to the registration by the Landlord of any dealings which are not adverse to the Tenant's interest.

### **Option to Purchase**

**42.** SHOULD the Landlord, during the term of this lease, decide to sell the Landlord's interest in the premises the subject of this lease ("the Landlord's interest"), the Landlord shall give the Tenant the first right to purchase the Landlord's interest. Should the Tenant fail to notify the Landlord within six (6) months of the date of the offer being made that the tenant wishes to purchase the Landlord's interest then the Landlord may offer the Landlord's interest for sale to third parties on terms no less favourable than those offered to the Tenant but if the Landlord should elect to offer the Landlord's interest for sale on more favourable terms then the Landlord shall on each occasion offer the Landlord's interest to the tenant in the manner described herein.

### **Accruals**

**43.** NOTWITHSTANDING the option to purchase, the purchase price is the lowest price that the property herein bought and sold could be purchased at and that no income or expenditure arises under the Accrual Rules or any other rules relating to income and expenditure set out in the Income Tax Act 1976 or its amendments.

#### **Suitability**

34. NO warranty or representation expressed or implied has been or is made by the Landlord that the premises are now suitable or will remain suitable or adequate for use by the Tenant or that any use of the premises by the Tenant will comply with the by-laws or ordinances or other requirements of any authority having jurisdiction.

#### **Affirmation**

35. A party to this lease shall not be entitled to cancel this lease if, with full knowledge of and repudiation or misrepresentation or breach of covenant, that party affirmed that lease.

#### **Land Transfer Title or Mortgagee's consent**

36. THE Landlord shall not be required to do any act or thing to enable this lease to be registered or be required to obtain the consent of any mortgagee of the property.

#### **Notices**

37. ALL notices must be in writing and must be served by one of the following means:
- a. In the case of a notice given under Section 118 of the Property Law Act 1952 in the manner prescribed by Section 152 of that Act.
  - b. In all other cases by personal delivery, or by posting by registered or ordinary mail, or by facsimile, or by e-mail.
  - c. IN respect of the means of service specified in clause 37 (b), a notice is deemed to have been served.
    - (a) In the case of personal delivery, when received by the addressee;
    - (b) In the case of posting by mail, on the second working day following the date of posting to the addressee's last known address in New Zealand.
    - (c) In the case of facsimile transmission, when sent to the addressee's facsimile number.
    - (d) In the case of e-mail, when acknowledged by the addressee by return e-mail or otherwise in writing.
  - (e) In the case of a notice to be served on the Tenant, if the Landlord is unaware of the Tenant's last known address in New Zealand or the Tenant's facsimile number, any notice placed conspicuously on any part of the premises shall be deemed to have been served on the Tenant on the day on which it is affixed
  - (f) A notice shall be valid if given by any director, general manager, solicitor or other authorised representative of the party giving notice.
  - (g) For the purpose for this clause a working day means any day on which registered banks are open in the province where the property is situated, other than a Saturday or Sunday. Notices served after 5pm on a working day, or on a day which is not a working day, shall be deemed to have been served on the next succeeding working day.

#### **Arbitration**

- 38.1 UNLESS any dispute or difference is resolved by mediation or other agreement, the same shall be submitted to the arbitration of one arbitrator who shall conduct the arbitral proceedings in accordance with the Arbitration Act 1996 and any amendment thereof or any other statutory provision then relating to arbitration.
- 38.2 IF the parties are unable to agree on the arbitrator, an arbitrator shall be appointed, upon request of any party, by the President or Vice President for the time being of the District Law Society of the district within which the premises are situated. The appointment shall be binding on all parties to the arbitration and shall be subject to no appeal. The provisions of Article 11 of the First Schedule of the Arbitration Act 1996 are to be read subject hereto and varied accordingly.
- 38.3 THE procedures prescribed in this clause shall not prevent the Landlord from taking proceedings for the recovery of any rent or other monies payable hereunder which remain unpaid or from exercising the rights and remedies in the event of such default prescribed in clauses 25 and 26 hereof.

termination ownership of the fixtures fittings and chattels may at the Landlord's election pass to the Landlord or the Landlord may in a proper and workmanlike manner remove the same from the premises and forward them to a refuse collection centre.

- 28.2 THE cost of making good resulting damage and the cost of removal shall be recoverable from the Tenant and the Landlord shall not be liable to pay any compensation nor be liable for any loss suffered by the Tenant.

#### QUITE ENJOYMENT

29. THE Tenant paying the rent and performing and observing all the covenants and agreements herein expressed and implied shall quietly hold and enjoy the premises throughout the term without any interruption by the Landlord or any person claiming under the Landlord.

#### RENEWAL OF LEASE

30. IF the Tenant has given to the Landlord written notice to renew the lease at least 3 calendar months before the end of the term and is not at the date of the giving of such notice in breach of this lease (including any maintenance obligations) then the Landlord will grant a new lease for a further term from the renewal date as follows:
- (a) If the renewal date is a rent review date the annual rent shall be agreed upon or failing agreement it shall not be less than the rent payable as at the commencement date of the immediately preceding lease term.
  - (b) The new lease shall be upon and subject to the covenants and agreements herein expressed and implied except that the term of this lease plus all further terms shall expire on or before the final expiry date.
  - (c) The annual rent shall be subject to review during the term of the new lease on the rent review dates or if no dates are specified then after the lapse of the equivalent periods of time as are provided herein for rent reviews.
  - (d) The Landlord as a condition of granting a new lease shall be entitled to have the new lease guaranteed by any guarantor who has guaranteed this lease on behalf of the Tenant who has given notice.

#### ASSIGNMENT OR SUBLETTING

- 31.1 THE Helensville Agricultural and Pastoral Association has the right to sub lease any part of the property except the Sand and Grass Tracks.
- 31.2 ANY assignment or subletting of the type or in the manner referred to in Section 109 (2) of the Property Law Act 1952 shall be a breach of the provisions of this lease.

#### GENERAL

##### Holding Over

32. IF the Landlord permits the tenant to remain in occupation of the premises after the expiration or sooner determination of the term, such occupation will be a monthly tenancy only terminably by one month's written notice at the rent then payable and otherwise on the same covenants and agreement (so far as applicable to a monthly tenancy) as herein expressed or implied.

##### Access for Re-Letting or Sale

33. THE Tenant will during the term permit the Landlord, the Landlord's representatives and prospective tenants or purchasers to have access to inspect the premises provided that
- (a) any such inspection is at a time which is reasonably convenient to the Tenant,
  - (b) is conducted in a manner which does not cause disruption to the Tenant and
  - (c) if the Landlord or the Landlord's representatives are not present the persons inspecting have written authority from the Landlord to do so.

Dated 13<sup>th</sup> ~~April~~ 2005

Between

HELLSVILLE DISTRICT RANGERS  
CLUB INC

Landlord

and

HELLSVILLE AGRICULTURAL  
& PASTORAL ASSOCIATION INC

Tenant

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## DEED OF LEASE

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Mahere Whakatauirā Mana Whakahaere Papa  
Rēhia ā-Rohe o Rodney

# Rodney Local Parks Management Plan

Volume 2: Individual parks in Kumeū subdivision







## List of values associated with park

### Natural values



Terrestrial and wetland ecosystems present



Park with stream running through or that is adjacent to the coast

### Recreation values



Pathways



Community leisure and recreation facilities



Organised sport and recreation



Event

### Hazards and constraints



Coastal hazards



Other hazards or constraints

### Mapping features



Other parks

Management Focus Areas



Community use

### ID Appellation

1 Lot 1 DP 89976

2 Lot 2 DP 89976

3 Lot 1 DP 46400

4 Part Lot 1 DP 41271

### Land status

Subject to Local Government Act 2002

Subject to Local Government Act 2002

Subject to Local Government Act 2002

Subject to Local Government Act 2002

## CULTURAL VALUES

- Refer to mana whenua.

## RECREATION VALUES

- Community activities hosted at this park include:
  - Annual Helensville A and P Show.
  - Helensville Pony Club, utilise the grounds between October to April.
  - Community activities such as scout camps, school group days and others.
  - Use of the buildings by various community groups, private individuals and commercial filming companies throughout the year.

## NATURAL VALUES

- Awaroa Stream, Kaipara River runs through areas of this parkland.

## HERITAGE VALUES

- Since 1900, Helensville A and P Show has been a gathering place for city and country communities to experience agricultural and pastoral activities.

## OTHER INFORMATION

- Helensville A and P Showgrounds is located next to Pipitiwai Reserve.
- As outlined in the Draft Rodney West | Local Paths (Greenways) Plan from 2019, there is a proposal to promote and enhance a collection of routes involving bus routes, footpaths and a proposed riverbank path to better link Parakai and Helensville. In this plan, this is identified as a priority greenway project. A priority township loop intersects with several parks from Kaipatiki Reserve in the north, to Helensville A&P Showgrounds in the east, passing through local parks such as Kaipara River Helensville, Helensville River Reserve, Helensville River Walkway and Te Moau Reserve and River Esplanade. This proposal is an opportunity to improve active modes of travel to work and school and to enhance connectivity in the local area. In the plan it is noted that the proposed riverbank walkway requires further feasibility investigation due to the potential for erosion along the Kaipara River, and to consider any impacts on river traffic from a proposed bridge along a segment of the route.
- During storm events areas of the parkland may be subject to coastal inundation that will temporarily limit the use of some areas.
- During storm events areas of the parkland may be subject to inundation

from stormwater runoff.

## MANAGEMENT ISSUES

- Cultural heritage values may not have been recorded for the site but are likely to be present.
- A key issue is the importance of water quality in the park and the park's role contributing to water quality in the Kaipara Harbour.

## MANAGEMENT INTENTIONS

1. Engage with mana whenua when considering park development and investigate whether an archeological survey is required.
2. Support activities that improve water quality in the park and river/coastal catchment; for example, planting activities to slow down sediment run off into the river/coast from the park and stock control by waterways, to protect and enhance aquatic habitats and riparian ecosystems.
3. Investigate and enable connections to be improved between the park and other open spaces in the Parakai and Helensville area.
4. Through the next variation to this management plan, initiate process to add Lot 6 DP 140029 to the plan.

## LEASES AND LICENCES


Contemplated leases and licences within existing footprints for land held under the Local Government Act 2002 for:

- Organised sport and facilities, e.g., A&P Show, equestrian activity





## List of values associated with park

### Natural values

-  Terrestrial and wetland ecosystems present


### Hazards and constraints

-  Coastal hazards
-  Other hazards or constraints

### Mapping features

-  Other parks

### Management Focus Areas

-  Protection of the natural environment

ID	Appellation	Land status
1	Lot 24 DP 121971	Recreation reserve
2	Lot 8 DP 140029	Recreation reserve

## CULTURAL VALUES

- No information for this section

## RECREATION VALUES

- No information for this section

## NATURAL VALUES

- The following ecosystems are present within the parkland:
  - Regenerating: Broadleaved scrub/forest, (VS5)
  - Regenerating: Kānuka scrub/forest, (VS2)

## HERITAGE VALUES

- No information for this section

## OTHER INFORMATION

- Pipitiwai Reserve is located next to Helensville A and P Showgrounds.
- During storm events areas of the parkland may be subject to coastal inundation that will temporarily limit the use of some areas.

## MANAGEMENT ISSUES

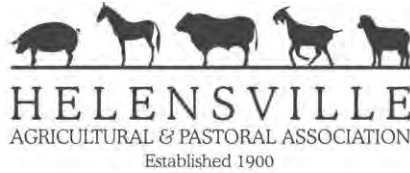
- Cultural heritage values may not have been recorded for the site but are likely to be present.

## MANAGEMENT INTENTIONS

1. Engage with mana whenua, especially before progressing significant developments.

## LEASES AND LICENCES

- Not applicable



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PO Box 23 Helensville 0840 Ph: 09 420 7572 E-mail: [info@helensvilleshow.co.nz](mailto:info@helensvilleshow.co.nz) [www.helensvilleshow.co.nz](http://www.helensvilleshow.co.nz) [www.facebook.com/HelensvilleShow](https://www.facebook.com/HelensvilleShow)

## HOME TO THE HELENSVILLE SHOW

### **Who we are, what we do and our place in the South Kaipara Community:**

2022 will mark the 120<sup>th</sup> Helensville Show, the largest one-day show in the Northern region.

The Helensville Show is a hallmark event in the community and prides itself on its authenticity in sharing and celebrating the rich rural traditions and heritage of the South Kaipara region.

This is exemplified through exhibition, competition and community.

***The Helensville Show operates in partnership with the local and extended communities it serves.***

### **Throughout the year:**

- An equestrian facility that is unique to the region and attracts a keyholder membership that extends from Warkworth to Coatesville.
- A community facility for local activities, celebrations and events through hall hireage
- Home to the Helensville Pony Club.
- Working farm that is a vital revenue source for the Association and Show
- Revenue activities that are tendered to the community to the purposes of hay / sileage cutting
- Motorhome location for set date events

### **Showtime: - Education, Awareness, Entertainment, Culture, Competition and Community**

- Partners with local businesses and community organisations. The 2021 Show supported either by remuneration or in kind 26 community / not for profit organisations. All paid work for the Show is tendered to the local community. The largest recipient of this in 2021 was Tu Tangi Ora waka ama who fulfilled the gatekeeper duties. Other recipients include Scouts, Lions, Helensville Womens and Family Centre, Rotary, Compost Collective, Kaipara Food Security Group to name but a few. (full list available on request together with benefits)
- Māori engagement. The 2021 saw an amplification of Māori engagement and inclusion of six mana whenua stands. These celebrated arts, culture, performance and formed a major part of the opening ceremony in tandem with Mayor Phil Goff. Te Reo signage and the interactive arts and crafts stands together with the offer of a hāngi site and the inclusion of Māori Arts and Crafts classes in the indoor section of the show were all extensions of this engagement.

- **Engaging with Youth / Youth Opportunities**  
For the past two years the Show has offered its support to the Kaipara College careers and gateway programmes for placement in event management, public/media relations and social media.  
In the lead up and including show day, the Helensville Show works collaboratively with six primary schools, early learning centres and Kaipara College.
- **Sustainable practices**  
Helensville Show engages the Helensville Recycle Centre to deliver its zero waste objectives on a commercial basis and employs sustainable farming and event practices throughout the year.
- **Accessibility.** As part of the ATEED support of the 2021 Show, the Show Manager attended an ATEED led 'BE Accessible' workshop. Accessibility is an element of the show that has been developed further over the past two years to be more encompassing and improve on the welcome to all that the Show has prided itself in for more than century.
- **Competition – Agricultural, arts and crafts and equestrian competition schedule**
- **Trade stands and interactive workshops relevant to the community**

**How does the Helensville Show align itself to the Rodney Local Board key objectives / 3 year plan?**

- **Delivers the largest community event of its kind in the region**
- **Provides a platform for other community organisations / not for profits to benefit**
- **Offers a platform for local business to showcase their products and services**
- **Celebrates food and wine of the North West region**
- **Continues to grow Māori engagement through relationship with Kaipara College and mana whenua. Nurturing and celebrating arts, culture, cuisine and performance.**
- **Transport:** As part of the 2021 Show's partnership with ATEED, there was a plan to deliver rail connection to the show, however this was withdrawn by Kiwi Rail just one week out from the Show. It did however demonstrate both the desire and demand for a rail link into the Show.
- **Environment – Coast and Community**  
Delivering a sustainable show inclusion of related community groups and trade stands to support the environmental and sustainable objectives of the region.
- **Infrastructure & Development.**  
Current need and requirement speaks to outcomes 3,4 and 5 within the Rodney District Plan:  
Supporting resilient communities and having access to whatever they need  
Infrastructure – health and safety alignment with driveway being major access point for pedestrian and vehicle.  
Local parks and recreations facilities meeting the need of the local community.

Our Ref: L23985b

23 March 2023

Auckland Council  
Orewa Office  
Private Bag 92300  
AUCKLAND 1142

Attn: Peter Bilton

Dear Peter,

**RE: HELENSVILLE A&P SHOWGROUNDS AT 63 RAILWAY STREET, HELENSVILLE**

We last met with the Helensville A&P Showgrounds with the committee on Thursday the 9<sup>th</sup> of March 2023 with the following attendees,

- Peter Bilton                      Auckland Council
- Rick Croft                        Helensville A&P Committee
- Richard Bradly                Helensville A&P Committee
- Shona Addison                Helensville A&P Committee
- Dave van Dam                 Helensville A&P Committee
- Jayden Quensell              Hutchinson Consulting Engineers
- Ian Hutchinson                Hutchinson Consulting Engineers



*Figure 1: Existing pavilion building*

We attach tender documents for review,

- Schedule of Prices (Engineers Estimate)
- Basis of Payment
- Design Drawings
- Administration Building Concept
- Showgrounds Building Concept
- Geotechnical Report

We continue from our previous reporting referenced L23985a dated 28 February 2022.

We understand that the intent is to stage the physical site development works in a strategic order to best suit the site development methodologies of the site and a staged budget.

The Helensville A&P Association understand Auckland Council intends to strategically roll out the systematic re-development of the showground's infrastructure and facilities.

We were originally provided with and reviewed the following reports,

- Auckland Council Memo, BV20200225 (25 February 2020)
- Asbestos Refurbishment Survey – Switchboard Shed (5 March 2020)
- Asbestos Management Survey – Toilet Block (6 March 2020)
- Asbestos Management Survey – Pavilion (6 March 2020)
- Asset Assessment Report – Internal Road (14 September 2020)
- Asset Assessment Report – Toilet Block (3 November 2020)
- Asset Assessment Report – Pavilion (3 November 2020)

The existing infrastructure and facilities at the showgrounds are functional but dated and in need of significant maintenance, upgrading or replacement.

The following features of the showgrounds have been investigated,

- Access
- Earthworks
- Stormwater
- Wastewater
- Roding
- Watermain
- Power Supply
- Tidal Inundation
- Flooding
- Pavillion Replacement
- Toilet Block Replacement
- Administration Building

A description of the investigations completed by this office is summarised within this report but generally consists of site investigations, liaison and design.

### **Geotechnical Investigations**

Subsoil investigations have been completed on the site to identify the

- founding requirements for potential replacement showground buildings
- A&P Showgrounds Trade Area subgrade conditions
- unsealed access pavement design

Hutchinson Consulting Engineers has prepared a geotechnical report for the proposed replacement pavilion and administration buildings, referenced L23985 dated 25 February 2022. The geotechnical reporting is attached to this report and typically provides for minimum floor levels and founding conditions for potential replacement building structures.



## **Topographical Survey**

An as-built topographical survey of the site was completed in terms of Lands and Survey datum. The features of the site have been identified with the assistance of the Helensville A&P showgrounds representatives.

## **Site Observations**

The A&P Showgrounds are around 28.35 Ha (70 acres) comprising a showgrounds area, race track, grazing pasture and bush. The showgrounds are located on the northern extremity of the Helensville Township and accessed from Railway Street (SH16).

The showgrounds host the annual A&P show, pony club, local community events and functions as a public community park.

## **Discussion**

Aside from the geotechnical investigations for the potential replacement buildings the following infrastructure was investigated.

- Access
- Earthworks
- Stormwater
- Wastewater
- Watermain
- Power Supply
- Tidal Inundation
- Flooding
- Pavillion Replacement
- Administration Building

## **Proposed Works**

It is proposed to rejuvenate the A&P showgrounds and provide replacement buildings. To accompany the design drawings, a schedule of prices including engineers estimate has been prepared. The approximate cost of the proposed siteworks is around \$2.3M. The works may be staged as budgets allow and the staging recommendations are discussed later in the report.

## **Access**

The main access to the showgrounds is via a pair of chainlink gates around 150m south of Pipitiwai Drive, Helensville. Ad additional access is to be formed as part of the staged works to relocate pony club parking and this should form part of the stage one works.



*Figure 2: Access strip looking west*

The main 4m wide access extends around 100m from the entrance before veering south toward the pavilion building for a further 150m to the south. The pavilion building has a 400m<sup>2</sup> metal carpark and a 2,500m<sup>2</sup> carparking area is also located to the north of the entrance strip.

As referenced in the geotechnical report the hardstand areas typically comprised 140mm to 200mm of compacted hardfill overlying a silty alluvial subgrade.

To improve the accessway around 50mm to 100mm of maintenance AP40 basecourse could be compacted into the surface of the rehabilitated pavement surface once it has been reshaped with a grader. The accessway swales should also be better formed to control stormwater runoff better.

The schedule of prices have allowed for unsealed and concreted accessway options. Once tenders are received a decision can be made on the surface finish once budgets are defined.

### **Earthworks**

To reduce the groundwater levels in the showgrounds amenity Trade Area in winter it would be possible to install subsoil drainage below the existing grass swales extending through the grassed area. If counterfoit drainage was installed it would typically comprise 300mm wide by 1.0m deep subsoil drains. The depth of these subsoil drains would be limited by the low lying nature of the swale ground surface and the static groundwater levels in the roadside drains within the SH16 road reserve.

The swales through the showground areas should be more evenly graded to allow the better transfer of overland surface flows.

The earthworks required for a replacement pavilion structure are more fully described within the attach geotechnical report. The building platform level at that location would need to be raised around 1.0m from RL2.6m to RL3.6m to be elevated above the 1 in 100 year peak tidal inundation report.

The replacement of the stormwater system will provide adequate provision for the subsoil drainage connections.

## Stormwater

The southwestern A&P Showgrounds Trade Show area is the predominant area of use and this area drains in a westerly direction towards the poorly graded open side drains on SH16. The existing ground levels in this area typically fall from around RL3.0 m in the eastern extremity of this north western corner to around RL2.3m at the western extremity of the site. The ground levels typically fall at less than 0.5% to the west within the A&P Showgrounds Trade Show area. The grass swales servicing this area contain a near level profile.

The roadside drain along the northern side of SH16 is relatively deep and its invert is around 1.3m lower than the seal edge of the State Highway. These roadside drains are very flat however they do fall slightly towards the north ultimately discharging below SH16 around 400m north of the A&P showgrounds.

The invert level of the roadside drain at the entrance to the A&P showgrounds is around RL1.8m. The invert of the roadside drains in this area is around the elevation of MHWS.

The suggested replacement stormwater system has been designed to be directed toward the existing floodgate on the south eastern side of the showgrounds. The stormwater reticulation will provide a more serviceable connection depth as the pipework invert will be around RL1.2m near the showgrounds entrance providing a 600mm head advantage over the roadside network.

There is a stormwater line of approximate dimension of 225mm diameter that crosses the showgrounds from Pipitiwai Drive to the flood gate on the southern side of the showgrounds. This stormwater line is in poor condition and will be replaced with an appropriately sized pipe.



*Figure 3: Flood gate outlet*

The pipework will be upgraded to a 375mm diameter pipe at the outlet to better service the site during normal rainfall events. The existing outlet discharges at around RL0.0m.

## Wastewater

Allowance has been provided for a new wastewater connection for both the replacement administration building and the showgrounds building. This wastewater allowance provides for the pump station to service the administration and pavilion buildings.

## **Watermain**

Provision has been made to provide a new 100mm watermain and hydrant to the vicinity of the proposed new buildings.

## **Power Supply**

The power supply is in a poor state of repair. The electrical distribution shed is derelict and the pillar outlet boxes for the A&P shows are old and also unsafe. The power supply for the showgrounds and future buildings will be replaced to adequately service the site.

The local Helensville Laser Electrical contractor, Tony Cooper, should be a nominated sub-contractor when tenders are let.

## **Tidal Inundation**

This office has reviewed the Auckland Council publication, Auckland's Exposure to Coastal, Inundation by Storm-tides and Waves, December 2020, Technical Report 2020/024.

In particular the DHI report referenced Technical report: Parakai Coastal Flood Inundation, Numerical Modelling Table 6.1 for the 100 year peak flood flow storm event including 1m sea level rise resulting in a tidal inundation level of RL 3.60m.

These figures include for sea level rise and storm surge during a peak flood flow event. The present MHWS level in the vicinity of the site is around RL2.0m.

Obviously the Tidal Inundation Level of RL3.6m will affect required finished floor level of any proposed future buildings on the site.

## **Flooding**

The Helensville A&P Showgrounds inundate during peak flood flow events and stormwater inundation enters the lower parts of the existing showgrounds pavilion building occupied by the lunchroom and office. The existing floor level of this part of the building is around RL2.8m. This type of flooding occurs annually however the majority of the building remains dry above the annual flood level, the majority of the pavilion building is at an upper level, 150mm higher than the office area, of around RL2.95m.

The amenity areas outside of the showground pavillion also inundate including the showgrounds toilets and changing rooms as indicated in the photo below.



Figure 4: A&P Showgrounds 14<sup>th</sup> February 2023

Flood Plains and Flood Prone areas exist over significant portions of the site. It appears that the Auckland Council GIS flood plain extends to an elevation of around RL2.9m whereas most of the commonly utilised land at the site is below that elevation being between RL2.0 and RL2.8 m.

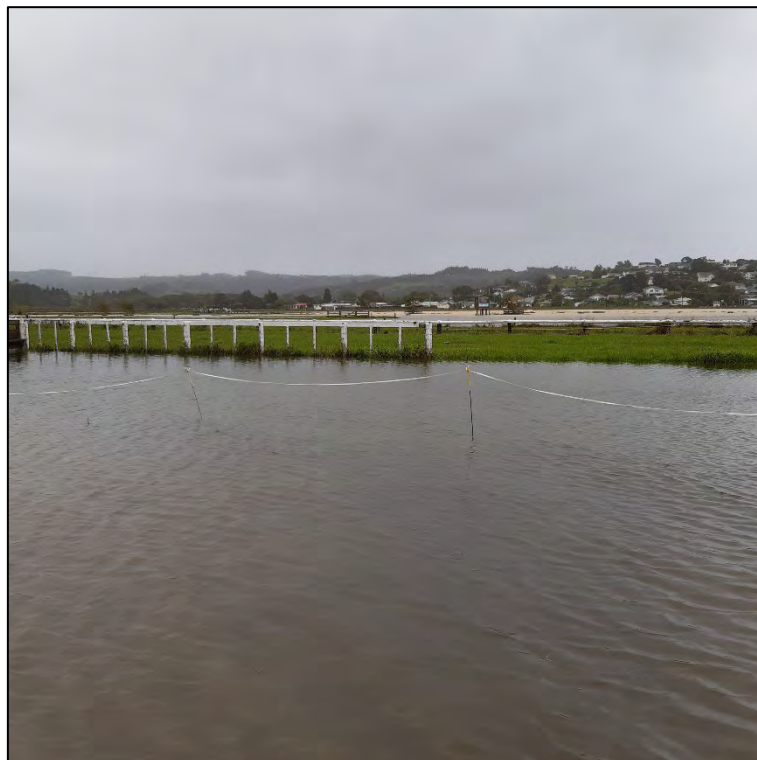


Figure 5: Inundation flood mapping

Photos of the recent storm events witnessed flood levels to around RL2.8m.



*Figure 6: A&P Showgrounds 14<sup>th</sup> February 2023*



*Figure 7: A&P Showgrounds 14<sup>th</sup> February 2023*

## Pavilion Replacement

The existing 525 m<sup>2</sup> pavilion building is a basic lightweight farm building that has been occupied for public use. The building is not appropriate for its intended use and should be replaced. Portions of the internal floor area inundate during flood flow events and the roof and exterior cladding is in a poor state of repair.

We would not recommend refurbishing this building as a similar style new farm style building shell designed to appropriate modern standards would only cost around \$1000/m<sup>2</sup> to construct and it would cost around \$2000/m<sup>2</sup> to construct a functional pavilion. Any new structure should be constructed above the 0.01 AEP design flood level.

## Costings

### Administration Building

During the consultation period it has been decided that a separate administration building would provide benefits to the site being separate administration and an occupancy while the pavilion building is being replaced. We expect the 122m<sup>2</sup> administration building would cost around \$500,000.00 to construct based on a current build cost of around \$4000/m<sup>2</sup>.

### A&P Showgrounds Building

We expect the 1116m<sup>2</sup> showground pavilion would cost around \$2.5M based on a build cost of around \$2000m<sup>2</sup>.

### Siteworks

We anticipate the total costings for the Helensville A&P Showgrounds siteworks to be approximately \$2.5M made up from,

• Preliminary and General	\$ 212,000.00
• Earthworks	\$ 480,000.00
• Stormwater Drainage	\$ 342,000.00
• Wastewater	\$ 50,000.00
• Roding	\$ 304,000.00
• Concrete	\$ 356,000.00
• Watermain	\$ 40,000.00
• Electrical	\$ 186,000.00
• Miscellaneous	\$ 30,000.00
• Contingency	\$ 500,000.00
• <b>TOTAL:</b>	<b>\$2,500,000.00</b>

## Consenting

Resource Consent will be required for the new pavilion building as you can have a new building in Open Space Zone as a permitted activity but only up to 150m<sup>2</sup> so the Administration building should be a permitted activity. Consent will be required for earthworks over 1000m<sup>2</sup> or 1000m<sup>3</sup> so consent would be required prior to the major works commencing.

A new stormwater discharge to the river would be a discretionary activity however it becomes permitted given the existing discharge.

Consent would be required for carparking areas for more than 30 vehicles for "high contaminated" carparking reasons but this could form part of the building consent application.

Consent would also be required for the coastal inundation overlay and floodplain for the new buildings.

Prior to applying for any resource consenting, pre-application guidance from Auckland Council would be recommended.

Given the works are staged, the resource consenting will be able to be completed whilst the permitted activities occur.

### Staging

A logical order of staging would be,

- Stormwater
- Earthworks
- Wastewater
- Electrical
- Buildings
- Access

A logical stage one works of \$350,000.00 for stormwater infrastructure could commence as soon as required however certain portions of other service infrastructure could also be completed. When weather allows the raised platform for the administration building would be a sensible start.

We suggest tenders be called for the proposed works even if they are staged over a number of seasons. As you are aware the large escalations in costs are slowing so hopefully development costs have plateaued. Once we know the likely staged budgets we can put together specific conditions of contract for the staged works.

All costs listed above exclude,

- GST
- Council Fees

Should you wish to discuss any aspects of the above information, please contact this office.

We trust this meets with your approval.

Yours faithfully,

**HUTCHINSON CONSULTING ENGINEERS LTD**

Prepared by   
Ian Hutchinson  
**MANAGING DIRECTOR**

Reviewed by   
Paul Jarvie  
**STRUCTURAL MANAGER**



## SCHEDULE OF PRICES

**Helensville A & P Showgrounds  
63 Railway Street  
Helensville**

**Ref: S23985  
Date: 23 March 2023**

ITEM	DESCRIPTION	AMOUNT
1	PRELIMINARY & GENERAL	212,000.00
2	EARTHWORKS	480,000.00
3	STORMWATER DRAINAGE	342,000.00
4	WASTEWATER	50,000.00
5	ROADING	304,000.00
6	CONCRETE	356,000.00
7	WATERMAIN	40,000.00
8	ELECTRICAL	186,000.00
9	MISCELLANEOUS	30,000.00
10	CONTINGENCY	500,000.00
<b>TOTAL (excl. GST)</b>		<b>\$2,500,000.00</b>

## ENGINEERS ESTIMATE

**Engineers Estimate**

**Date: 23 March 2023**

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>1</b>	<b>PRELIMINARY &amp; GENERAL</b>				
<b>1.1</b>	<b>Establishment</b> Allow for the establishment on site of all machinery and equipment to satisfactorily complete all works and removal of same on completion.	L.S	1	22000.00	22,000.00
<b>1.2</b>	<b>Reinstatement &amp; Maintenance</b> Allow to tidy up the site on completion of works and reinstate all areas affected by the works.	L.S	1	15000.00	15,000.00
<b>1.3</b>	<b>Insurances</b> Allow to implement Insurance Policies as required by the Conditions of Contract and maintain for the duration of the contract.	L.S	1	15000.00	15,000.00
<b>1.4</b>	<b>Site Clearing</b> Allow to clear all vegetation nominated trees and deleterious materials and remove from the site.	L.S	1	75000.00	75,000.00
<b>1.5</b>	<b>Building Clearing</b> Allow to clear existing toilet block, switch board electrical shed, power plinths, showgrounds hall and associated infrastructure.	L.S	1	50000.00	50,000.00
<b>1.6</b>	<b>Set out</b> Allow to provide set out for all physical works.	L.S	1	5000.00	5,000.00
<b>1.7</b>	<b>Asbuilts</b> Allow to provide service asbuilt survey and drawings to Local Authority approval standards.	L.S	1	5000.00	5,000.00
<b>1.8</b>	<b>Traffic Control</b> Allow for all traffic management plans, liaison with all necessary authorities and provide traffic control for all works completed.	L.S	1	15000.00	15,000.00
<b>1.9</b>	<b>Health and Safety Plan</b> Allow to prepare all necessary Health and Safety plans and receive approval from all necessary authorities.	L.S	1	5000.00	5,000.00
<b>1.10</b>	<b>Protect Services</b> Allow to locate and protect existing services.	L.S	1	5000.00	5,000.00
<b>1.11</b>	<b>Unscheduled Items:</b> (Tenderer to list) (Note: Failure to list unscheduled items is taken as an acceptance by the tenderer that the schedule of prices includes or implies all items necessary for the best and satisfactory completion of all works).				
				<b>TOTAL</b>	<b>212,000.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>2</b>	<b>EARTHWORKS</b>				
<b>2.1</b>	<b>Topsoil</b> Strip topsoil from earthworks area and stockpile on site as directed (stockpile measure).	m <sup>3</sup>	5000	10.00	50,000.00
<b>2.2</b>	<b>Strip Unsuitable</b> Excavate unsuitable material and stockpile on site for respreading.	m <sup>3</sup>	100	20.00	2,000.00
<b>2.3</b>	<b>Imported Fill</b> Supply, place and compact to final contours, imported fill, including final trimming required, measure solid in place.	m <sup>3</sup>	4500	35.00	157,500.00
<b>2.4</b>	<b>Undercut</b> Excavate in all materials met, load, cart, place, condition, load, cart, place and compact to finished contours including final trimming.	m <sup>3</sup>	100	30.00	3,000.00
<b>2.5</b>	<b>Cut to Fill</b> Excavate in all materials met, load, cart, place, condition and compact to finished contours, including final trimming required.	m <sup>3</sup>	500	15.00	7,500.00
<b>2.6</b>	<b>Cut to Waste</b> Allow to cut material and remove from site including any tip fees.	m <sup>3</sup>	100	45.00	4,500.00
<b>2.7</b>	<b>Lime Drying</b> Extra over earthworks items to spread earthfill material to be lime dried, spread lime (2% application), pulverise earthfill (300mm deep), uplift and cart.	m <sup>2</sup>	8000	8.00	64,000.00
<b>2.8</b>	<b>Quicklime</b> To supply quicklime, transport to site and protect	tonne	44	350.00	15,400.00
<b>2.9</b>	<b>Cement</b> To supply cement, transport to site and protect	tonne	44	350.00	15,400.00
<b>2.10</b>	<b>Respread Unsuitable</b> Respread unsuitable material prior to respreading topsoil.	m <sup>3</sup>	100	15.00	1,500.00
<b>2.11</b>	<b>Topsoil Preloading</b> Load, cart, place and trim topsoil to preload building platform.	m <sup>3</sup>	5000	10.00	50,000.00
<b>2.12</b>	<b>Respread Topsoil</b> Respread topsoil to a minimum compacted depth of 100mm and prepare for grassing.	m <sup>3</sup>	5000	15.00	75,000.00
<b>TOTAL</b>					<b>445,800.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>2</b>	<b>EARTHWORKS continued...</b>				445,800.00
<b>2.13</b>	<b>Grassing</b> Sow grass seed (1kg/60 sq.m) and fertilise as specified.	Ha.	2	11500.00	23,000.00
<b>2.14</b>	<b>Silt Control</b> Allow to supply all materials to construct, maintain and reinstate and grass at completion of works				
	(a) Silt fence	m	200	30.00	6,000.00
	(b) Diversion Bund	m	200	15.00	3,000.00
	(c) Topsoil Bund	m	200	11.00	2,200.00
				<b>TOTAL</b>	<b>480,000.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>3</b>	<b>STORMWATER DRAINAGE</b>				
<b>3.1</b>	<b>Pipework (uPVC)</b> Supply, excavate, lay on line and grade in SAP7 bedding, backfill Class C uPVC pipe work including flushing of lines on completion for CCTV.				
	(a) 100mm	m	20	100.00	2,000.00
	(b) 150mm	m	20	140.00	2,800.00
<b>3.2</b>	<b>Pipework (HDPE)</b> Supply, excavate, lay on line and grade in GAP14 bedding to 100 mm soffit, HDPE FarmBoss type plain bore pipe work including flushing of lines on completion for CCTV.				
	(a) 300mm	m	250	250.00	62,500.00
	(b) 375mm	m	400	300.00	120,000.00
<b>3.3</b>	<b>Draincoil in Trench</b> Extra over pipework items to supply and install 100 dia draincoil in filtersok in stormwater trench.				
		m	700	20.00	14,000.00
<b>3.4</b>	<b>Manholes (1050 diameter)</b> Supply and construct 1050 mm diameter precast base manholes complete.				
	(a) 1.5 - 2.0m depth	No.	4	4000.00	16,000.00
	(b) 2.1 - 2.5m depth	No.	4	5000.00	20,000.00
<b>3.5</b>	<b>Cesspits</b> Supply and construct standard cesspits complete including concrete apron.				
	(a) 450 x 450	No.	2	1500.00	3,000.00
	(b) 675 x 450	No.	1	2500.00	2,500.00
<b>3.6</b>	<b>Connections</b> Allow to supply and install standard uPVC connections up to 6.0m length complete, including blank cap and marker post.				
	(a) 100 to manhole	No.	2	600.00	1,200.00
	(b) 150 to manhole	No.	2	1200.00	2,400.00
<b>3.7</b>	<b>Wingwall</b> Allow to supply and construct standard precast wingwalls complete.				
	(a) 300 - 600	No.	1	3000.00	3,000.00
<b>3.8</b>	<b>Rock Spawls</b> Supply and place concrete bound rock spawls in invert of stream channel at pipework outlets to prevent scour (Truck Measure).				
		m <sup>3</sup>	20	200.00	4,000.00
<b>3.9</b>	<b>Underfill Drainage</b> Allow to supply all materials and construct underfill drainage as detailed 450 x 450 with 40/20 drainage metal and geotextile capping.				
		m	300	80.50	24,150.00
<b>TOTAL</b>					<b>277,550.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>3</b>	<b>STORMWATER DRAINAGE continued...</b>				277,550.00
<b>3.10</b>	<b>Hardfill</b> Supply, place and compact GAP40 basecourse hardfill to trenches (Truck Measure).	m <sup>3</sup>	100	100.00	10,000.00
<b>3.11</b>	<b>Subsoil Drainage</b> Allow to supply all materials and construct 300mm wide subsoil drainage with 40/20 drainage metal and filter cloth as detailed in drawings. (a) 0.5 - 1.0m deep	m	500	100.00	50,000.00
<b>3.12</b>	<b>CCTV Inspection</b> Allow to complete CCTV inspections and report on finished stormwater lines as directed by the engineer.	m	650	3.00	1,950.00
<b>3.13</b>	<b>Flap Valve</b> Supply and install 375mm one way flap valve complete at wingwall outlet.	No	1	2500.00	2,500.00
<b>TOTAL</b>					<b>342,000.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>4</b>	<b>WASTEWATER</b>				
<b>4.1</b>	<b>Pipework (PWC)</b> Supply, trench, install and backfill over MDPE (PE100, PN16) pipework in trench including all bends and fittings to Auckland Council standards. (a) 40mm	m	150	50.00	7,500.00
<b>4.2</b>	<b>Boundary Kits</b> Supply and install standard boundary kit complete including all fittings, frames, toby box and red lid.	No.	1	2000.00	2,000.00
<b>4.3</b>	<b>Pump Station</b> Allow to supply and install E/One pump station complete, including all electrical installation and control.	No.	1	39500.00	39,500.00
<b>4.4</b>	<b>Testing</b> Allow to test wastewater system prior to connection.	L.S	1	1000.00	1,000.00
				<b>TOTAL</b>	<b>50,000.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>5</b>	<b>ROADING</b>				
5.1	<b>Basecourse</b> Supply, place and compact GAP 40 basecourse to 200mm final compacted depth on existing pavement including all trimming required (Truck Measure).	m <sup>3</sup>	300	80.00	24,000.00
5.2	<b>Basecourse (Showgrounds)</b> Supply, place and compact GAP 65/40 basecourse to 150 mm compacted depth on prepared subgrade.	m <sup>2</sup>	4500	30.00	135,000.00
5.3	<b>Basecourse (Pony Club Carpark)</b> Supply, place and compact GAP 65/40 basecourse to 200mm compacted depth on prepared subgrade.	m <sup>2</sup>	1500	30.00	45,000.00
5.4	<b>Building Platform</b> Supply, place and compact GAP 40 basecourse to 150mm compacted depth on prepared subgrade.	m <sup>2</sup>	5000	20.00	100,000.00
<b>TOTAL</b>					<b>304,000.00</b>

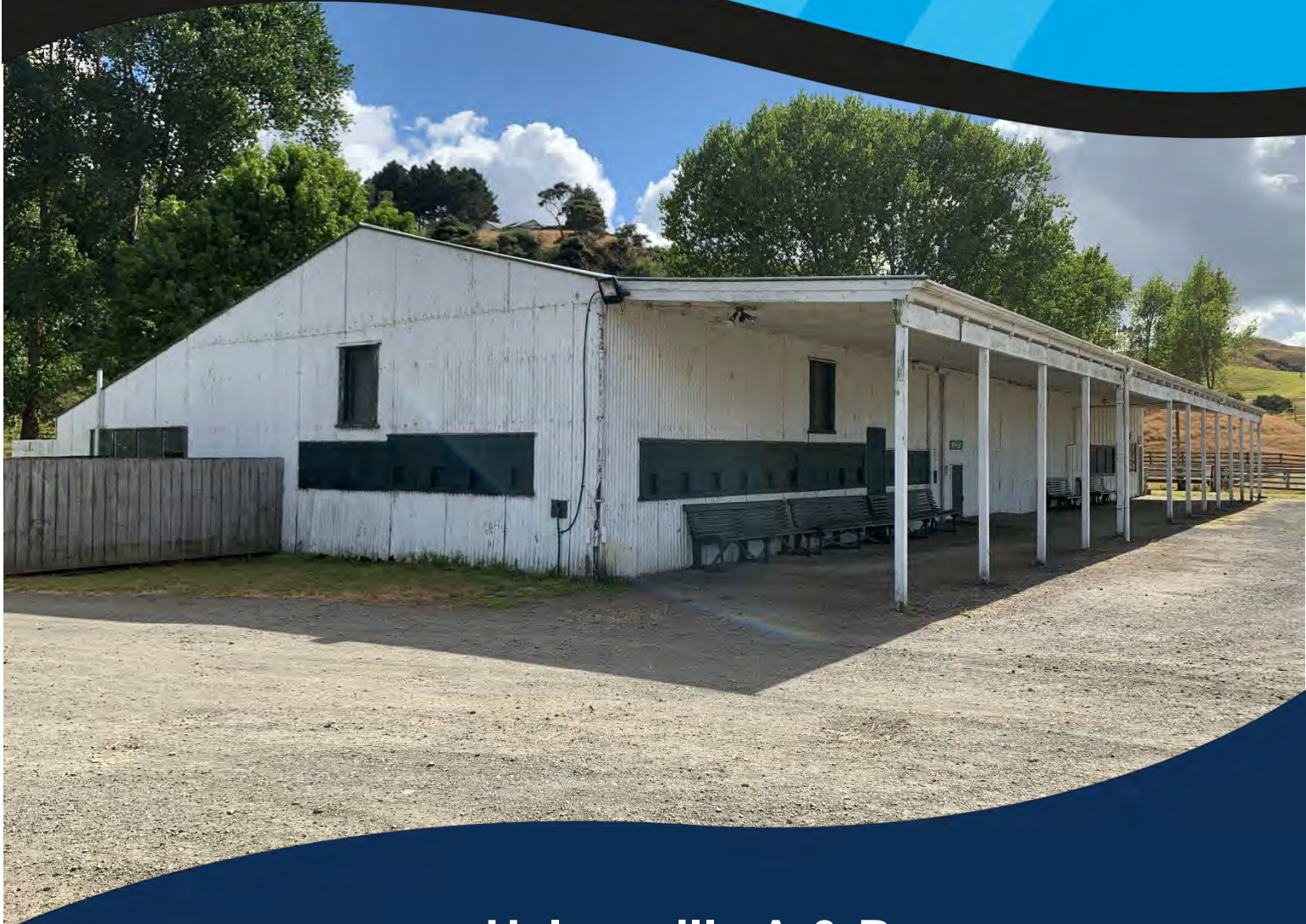


ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>6</b>	<b>CONCRETE</b>				
<b>6.1</b>	<b>Entrance (200mm)</b> Supply all materials and construct 200mm thick 25 MPa concrete access on 150mm compacted depth of AP40 bedding.	m <sup>2</sup>	150	200.00	30,000.00
<b>6.2</b>	<b>Black Oxide</b> Extra over 200mm concrete entrance rate to include 2% black oxide additive	m <sup>2</sup>	150	20.00	3,000.00
<b>6.3</b>	<b>Exposing</b> Extra over concrete rate to expose concrete finish.	m <sup>2</sup>	150	10.00	1,500.00
<b>6.4</b>	<b>Reinforcement</b> Supply and place 147 rib mesh reinforcing.	m <sup>2</sup>	150	10.00	1,500.00
<b>6.5</b>	<b>Entrance Gate</b> Allow to supply, receive and install galvanised electronic security gate complete.	L.S	1	20000.00	20,000.00
<b>6.6</b>	<b>Concrete Pavement Option (150mm)</b> Supply all materials and construct 150mm thick 25 MPa concrete access on 150mm compacted depth of GAP40 bedding.	m <sup>2</sup>	2000	120.00	240,000.00
<b>6.7</b>	<b>Black Oxide</b> Extra over 150mm concrete entrance rate to include 2% black oxide additive	m <sup>2</sup>	2000	10.00	20,000.00
<b>6.8</b>	<b>Exposing</b> Extra over concrete rate to expose concrete finish.	m <sup>2</sup>	2000	10.00	20,000.00
<b>6.9</b>	<b>Reinforcement</b> Supply and place 147 rib mesh reinforcing.	m <sup>2</sup>	2000	10.00	20,000.00
<b>TOTAL</b>					<b>356,000.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>7</b>	<b>WATERMAIN</b>				
<b>7.1</b>	<b>Pipework (MDPE)</b> Supply, install and backfill over MDPE (PN12) pipework in compound trench.				
	(a) 20mm (building connection)	m	50	40.00	2,000.00
	(b) 50mm	m	50	60.00	3,000.00
	(c) 110mm	m	150	100.00	15,000.00
<b>7.2</b>	<b>Fittings</b> Allow to supply and install fittings.				
	(a) 100mm to 50mm reducers	No.	2	300.00	600.00
	(b) Tapping bands 100mm to 50mm	No.	2	400.00	800.00
	(c) 100mm all flanged tees	No.	2	1200.00	2,400.00
	(d) 50mm blank caps	No.	2	150.00	300.00
	(e) Tapping bands 50mm to 20mm	No.	2	200.00	400.00
<b>7.3</b>	<b>Valves</b> Supply, install standard valves complete including concrete surround, pavement marking, marker posts and painting.				
	(a) 50mm diameter Peet valves	No.	2	1000.00	2,000.00
	(b) 100mm diameter Sluice valves	No.	1	2000.00	2,000.00
<b>7.4</b>	<b>Fire Hydrants</b> Supply and install standard fire hydrant complete including concrete surround, pavement marking, marker posts, painting and blue "catseye".				
		No.	1	4000.00	4,000.00
<b>7.5</b>	<b>Connection</b> Allow to break into existing pipework and provide connection including all fittings etc.				
	(a) 100 tee on existing 100	No.	1	6000.00	6,000.00
<b>7.6</b>	<b>Testing</b> Allow to test watermain including any necessary water supply and final disinfection.				
		L.S	1	1500.00	1,500.00
<b>TOTAL</b>					<b>40,000.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>8</b>	<b>ELECTRICAL</b>				
<b>8.1</b>	<b>Switchboard</b> Supply replacement mains switchboard to service showgrounds including future administration building and hall.	PC	1	14000.00	14,000.00
<b>8.2</b>	<b>Reticulation</b> Supply and install underground electrical cables in ducting including trench, installation, warning tape and back filling.				
	(a) 20 Amp	m	250	100.00	25,000.00
	(b) 30 Amp	m	200	200.00	40,000.00
	(c) 60 Amp	m	150	300.00	45,000.00
	(d) 100 Amp	m	150	400.00	60,000.00
<b>8.3</b>	<b>Plinths</b> Allow to supply and install showgrounds plinths including double power point and circuit breaker complete.	No.	1	1000.00	1,000.00
<b>8.4</b>	<b>Power Point</b> Supply and install IP65 double power point outlet trackside	No.	1	1000.00	1,000.00
				<b>TOTAL</b>	<b>186,000.00</b>

ITEM	DESCRIPTION	UNIT	QTY	RATE	AMOUNT
<b>9</b>	<b>MISCELLANEOUS</b>				
<b>9.1</b>	<b>Agricultural fencing (7 Wire)</b> Supply all materials and constructed standard 7 wire agricultural fencing complete.	m	200	20.00	4,000.00
<b>9.2</b>	<b>Agricultural fencing (Post and Rail)</b> Supply all materials and constructed standard post and rail agricultural fencing complete.	m	200	100.00	20,000.00
<b>9.3</b>	<b>Gates</b> Supply and install 3.6m galvanised farm gates including hardware in existing fence line including strainers.	No.	2	1500.00	3,000.00
<b>9.4</b>	<b>Road Marking</b> Allow to provide all road marking as detailed. (a) Line Marking (b) Disabled Symbol	m No.	200 2	10.00 500.00	2,000.00 1,000.00
<b>TOTAL</b>					<b>30,000.00</b>



**Helensville A & P  
Showgrounds,  
Helensville**

**Geotechnical Investigation  
Report**

Prepared for Auckland Council

February 2022

Ref L23985



**Hutchinson**  
CONSULTING ENGINEERS

**Geotechnical Investigation Report**

**for the**

**Proposed Park Improvements**

**at the**

**A & P Showgrounds**  
**63 Railway Street**  
**Helensville**

Prepared by Jayden Quensell  
**ENGINEER**

Hutchinson Consulting Engineers Ltd  
P O Box 150, Orewa 0946  
154 Centreway Road, Orewa 0931

Reviewed by Josh Charlwood  
**ENGINEER**

+64 9 426 5702  
info@hc.co.nz  
www.hc.co.nz

Approved by Ian Hutchinson  
**MANAGING DIRECTOR**

**Date** 28 February 2022  
**Status**

Our Ref: L23985

28 February 2022

Auckland Council  
50 Centreway Road  
Orewa 0931

Attention: Peter Bilton

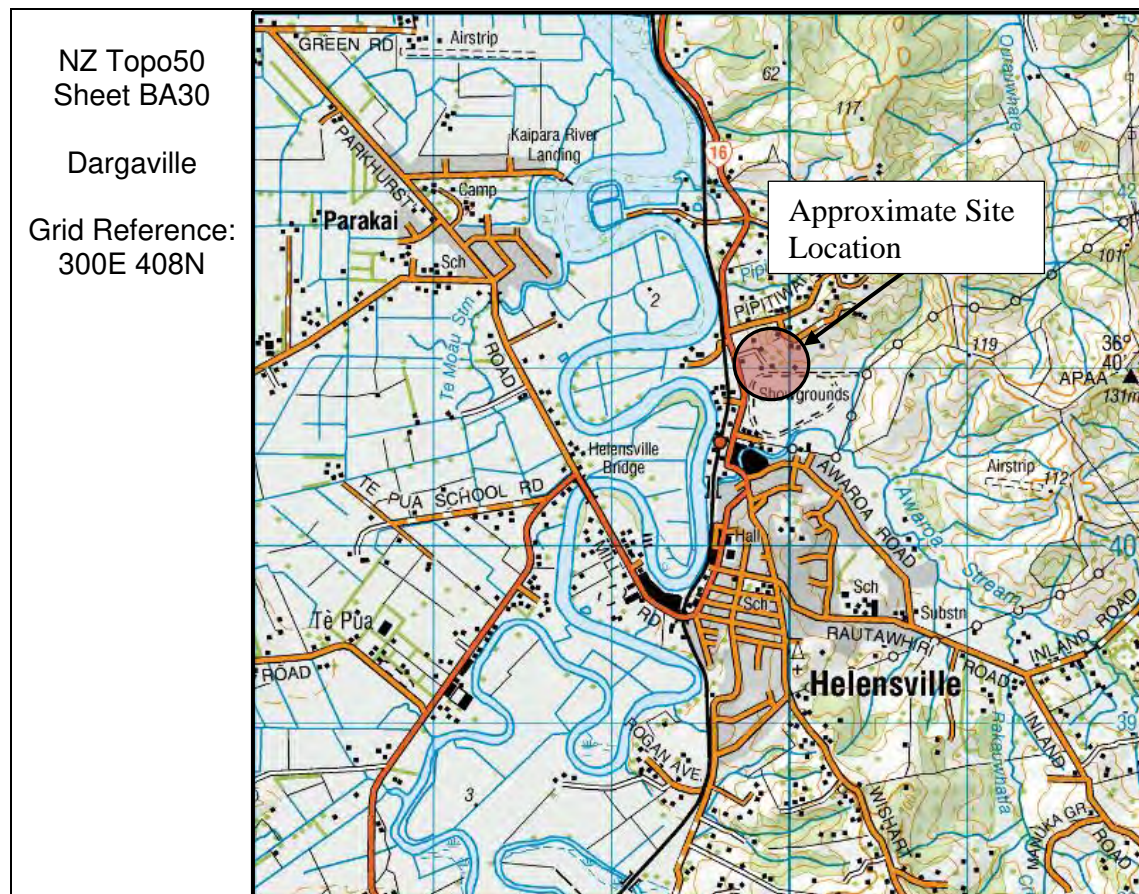
Dear Peter,

**RE: GEOTECHNICAL INVESTIGATION REPORT FOR THE PROPOSED PARK IMPROVEMENTS AT THE HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

**INTRODUCTION**

This office has visited and observed the above site on Wednesday the 19<sup>th</sup> of January and Thursday the 17<sup>th</sup> of February 2022 to investigate sub-soil conditions for the proposed park improvements at the Helensville A & P Showgrounds. The park improvements will consist of a pavilion upgrade, stormwater improvements and driveway rehabilitation.

**SITE LOCATION**



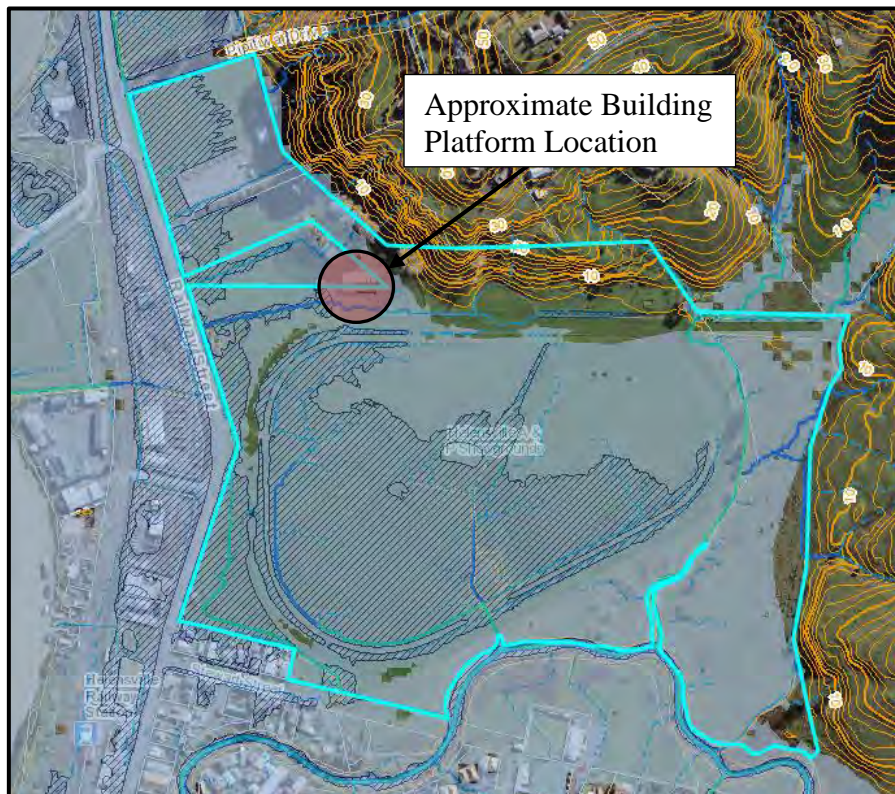
## SITE DESCRIPTION

The Helensville A & P Showgrounds is located on the northern side of Helensville, approximately 200m south of the intersection between Pipitiwai Drive and Kaipara Coast Highway. The property encompasses a land area of approximately 29.1 Ha and comprises a horse race track, pavilion, stable and associated vehicle parking areas. The balance of the site is vegetated in pasture with stands of small to large trees. The general site topography comprises a low lying and relatively level environment with steep slopes bordering the northern and eastern boundary lines. The property is accessed via a gate and metal driveway extending approximately 200 metres from Railway Street.



**Photos 1 and 2: Entrance to property and existing metal driveway**

The proposed building platform for a replacement pavilion is located within the north eastern portion of the property and is relatively level comprising of an existing structure may be completely removed. There are numerous overland flow paths and associated flood plain and flood prone areas located throughout the property as depicted in *Figure 2* below.



**Figure 2 Auckland Council Geomaps– Catchments and Hydrology overlay**



## SITE INVESTIGATION

The fieldwork carried out on the site involved the drilling of two hand auger boreholes to a maximum depth of 1.5 metres within close proximity to the proposed pavilion upgrade. The boreholes were terminated as a result of elevated groundwater levels. In-situ and remoulded shear strengths were recorded utilising a Geotechnics shear vane apparatus. Two Scala Penetrometer tests were conducted from existing ground level to ascertain the strengths of the non-cohesive (coarse grained) soils encountered beneath the site.

This office revisited the site on Thursday the 17<sup>th</sup> of February 2022 to carry out a pavement test-pit investigation within the existing metal accessway to confirm the existing driveway composition and condition.

The site investigations comprised the following,

- 4 x test pits including Scala penetrometer testing

## OBSERVATIONS

### Geology

Reference to the 1:250000 Institute of Geological & Nuclear Sciences Limited Geological Map of New Zealand Map 3 (Auckland Area) and the GNS Science – New Zealand Geology Web Map (*Figure 3*) indicate the proposed building site is located within proximity to a geological boundary between Holocene River Deposits and Cornwallis Formation of Warkworth Subgroup soils.

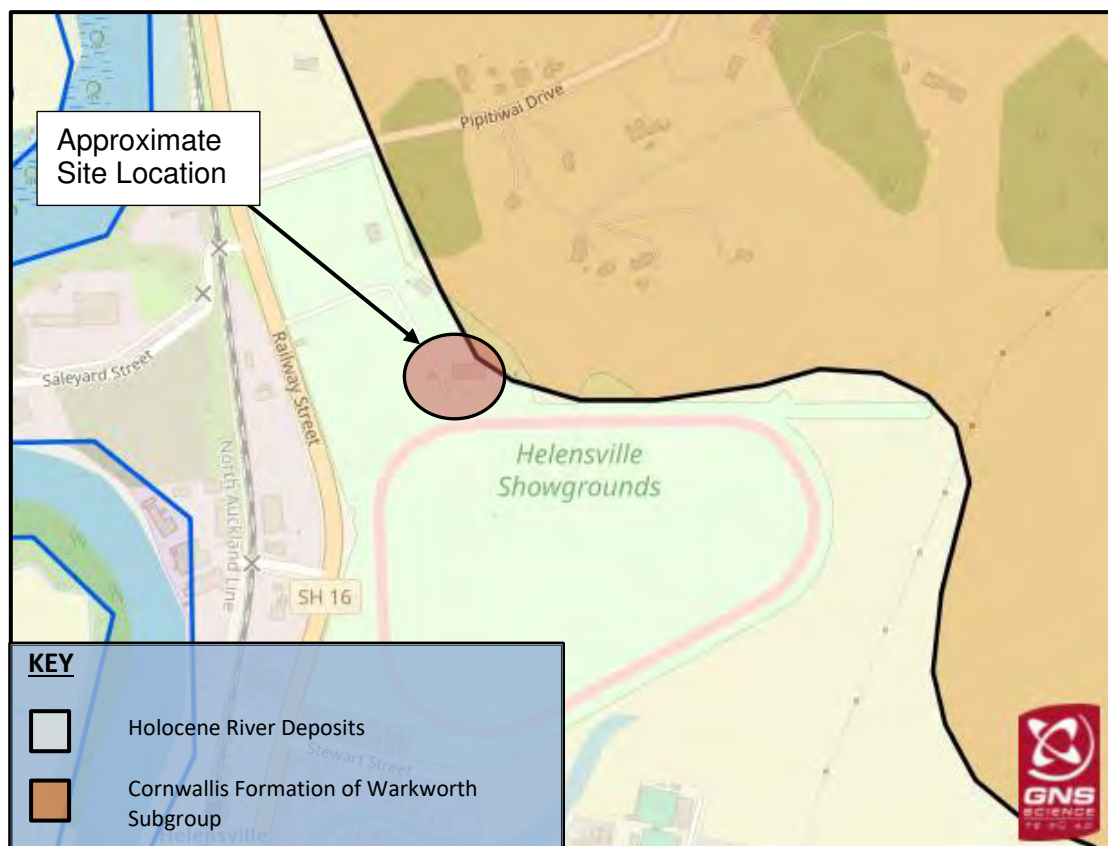


Figure 4 GNS Science – New Zealand Geology Web Map

**Cornwallis Formation of Warkworth Subgroup soils** are typically described as “*Thick-bedded, graded, pebbly and gritty volcanic sandstone and thin-bedded fine sandstone and siltstone.*”

**Holocene River Deposits** are typically described as “*Sand, silt mud and clay with local gravel and peat beds.*”

The geotechnical investigation encountered material generally consistent with Holocene River Deposits.

### **Sub-surface Conditions**

Sub-surface conditions are shown on the attached borehole logs, test pit logs and Scala Penetrometer test result sheet. A summary is given below:

#### Pavilion Area

- Topsoil intermixed with fine aggregate was encountered in boreholes 1 and 2 respectively. Topsoil depths ranged between 0.2 metres to 0.4 metres below existing ground level.
- Alluvial and colluvial soils comprising of firm to stiff consistency (33kPa to 88kPa) was encountered in both boreholes to a depth of 1.5 metres below existing ground level.
- Competent weathered sandstone/mudstone was not encountered during the geotechnical investigation.
- Groundwater was encountered in boreholes 1 and 2 at depths of 1.5 metres and 1.3 metres respectively, below existing ground level.

#### Accessway Extents

- GAP40 hardfill was encountered from existing ground level to a depth of 140mm to 200mm overlying natural alluvial and colluvial soils.
- 200mm layer of fine, organic stained, coarse aggregate was encountered within test pit number 4 within proximity to the pavilion.

### **Expansive Soils**

Based on a tactile assessment of the sub soils encountered in the borehole investigation the soils encountered beneath the building site are considered Site Classification H1 (highly expansive) in terms of AS 2870:2011 Residential slabs and footings-Construction.

Expansive soils are widely found within the Auckland Region and these soils exhibit shrink and swell characteristics throughout the summer and winter seasons. To mitigate the potential effects of soil heaving directly below slab on grade floor areas, upon completion of building platform earthworks we recommend the footprint of the proposed future pavilion including any associated amenity areas are covered with a 100mm thick layer of granular hardfill as soon as the earthworks are completed.

## Finished Floor Levels

### Existing Pavilion

The existing pavilion has a minimum finished floor level of around **RL 2.60**. There is a step in the pavilion floor levels as the predominant assembly hall area has been raised with a concrete overlay to mitigate the frequency of peak flood flow inundation events. The finished floor level of the predominant pavilion floor level is around **RL 2.80m**.

### Stormwater Flooding

Based on the latest Auckland Council Geomaps information the majority of the A & P Showground is located within potential flood plain and flood prone areas. The flood mapping around the existing pavilion area indicates a 1 in 100 year stormwater flooding level of around **RL 2.57m**.

### Coastal Inundation by Storm Tides and Waves in the Auckland Region

The Auckland Council Technical Report 2020/024 prepared by NIWA and titled "Auckland's Exposure to Coastal Inundation by Storm-tides and Waves" dated December 2020 indicates that the site is within an area of potential coastal inundation for a 0.01 AEP (100 year) storm event with a 1.0m sea level rise (SLR) component. Within Part 3 of this report NIWA recommend that the revised potential inundation elevations should be as described in Table 6-1 Predicted extreme water levels.

In accordance with Version 3 of the Stormwater Code of Practice the proposed finished habitable floor level for any structure constructed within the site should have an additional minimum freeboard allowance of 0.15m. The appropriate elevation for Helensville is the value for "1% AEP maximum storm-tide plus an additional 1.00m SLR and Auckland Council Freeboard of 0.15m. This is equivalent to an elevation of (2.60m + 1.00m + 0.15m) = **RL 3.75m**. This inundation water level will take precedence over the stormwater flooding level.

We recommend a minimum finished building platform level of **RL 3.60m** and a minimum finished floor level of **RL 3.80m**.

It is important to note that irrespective of the levels adopted for the new buildings, Council may issue the building consent under Section 71/72 of the Building Act resulting in a consent notice on the property title describing the natural hazard risk.

## Seismic Soil Category

In accordance with NZS 1170.05 we consider the Site Soil Class to be Class D – Deep or soft soil sites

## DISCUSSION

It is suggested to completely remove the existing pavilion and construct a single storey steel frame barn style pavilion with corrugated iron cladding supported on a reinforced concrete floor slab within the north eastern portion of the property. Based on the existing site topography we anticipate that a filling operation will be required to form a level building platform above any potential coastal inundation and stormwater flooding. It is also proposed to rehabilitate an existing unsealed pavement that is primarily used for vehicle access navigating a similar path to the existing unsealed pavement.

This office is unaware of any existing Geotechnical Reports for the subject site.

### Proposed Pavilion Upgrade

The existing building is around 15m wide and 35m long and has a 4 m wide shelter veranda on the southern side of the Pavilion. The 525 m<sup>2</sup> pavilion building is a basic lightweight farm building that has been occupied for public use. The building is no longer appropriate for its intended use as it is a structure which is susceptible to an earthquake and should be replaced. Portions of the internal floor area inundate during flood flow events and the roof and exterior cladding is in a poor state of repair.

The soil underlying the pavilion area comprises coarse aggregate and organic stained weak alluvial clay with shear strengths generally less than 100kPa. After removing the uncertified coarse aggregate material, the proposed pavilion will be founding directly on the natural alluvial soils. To accommodate the presence of weak subsoils and to avoid the use of extensive pile foundations, we recommend as part of the building platform preparation, the upper 600mm of clay soil be modified with 10kg/m<sup>2</sup> (2%) lime per 300mm lift. The addition of lime will also decrease the shrink/swell characteristics of the expansive alluvial clay and mitigate the potential for soil heaving below the concrete floor slab. It would be prudent engaging a contractor familiar with soil stabilisation and with equipment available to adequately blend the product i.e. stabilisation experts.

The additional weight of earthfill required to bring the building platform to level is likely to cause settlement effects within the underlying organic stained weak alluvial clay. As a result, an equivalent weight of earthfill to the proposed pavilion should be placed on top of the building platform to pre-load the underlying soils. Primary and secondary settlement should be monitored by until settlement has occurred.

Provided the building platform has been appropriately modified with lime and pre-loaded as mentioned above, the use of a reinforced stiffened raft or waffle raft type concrete floor slab will be a suitable foundation option for the proposed building. The use of a modified building platform and a stiffened raft floor will be more cost effective than utilising extensive load bearing pile foundations to support the building.

As a result of the potential for elevated groundwater, all earthworks should take place within the summer months during extended periods of dry weather. The cost implications of completing the earthworks during periods of poor weather are likely to be significant.

Provided the building platform is lime dry stabilised to form a competent upper crust in accordance with the recommendations of this report, the building platform is generally considered suitable for residential building constructed in accordance with the requirements of NZS 3604:2011 Timber Framed Buildings and NZS 4229:1999 Concrete Masonry Buildings not requiring Specific Engineering Design provided it is designed as a Class H1 site and in accordance with the following recommendations.

### Proposed Accessway

The existing accessway that services the site appears adequate however it would be improved if side drainage was improved to both enhance subgrade strength and direct stormwater flows away from the pavement. Mow-able grassed swales would be sufficient to control stormwater from the accessways however they would need to be carefully formed and evenly graded to ensure ponding did not occur on the relatively level amenity area.

Additional culvert crossings and pavement replenishment would be required to improve the serviceability of the unsealed pavement. Our test pit investigation identified an upper granular pavement layer of 140mm to 200mm thick GAP 40 hardfill. We recommend an additional 50mm to 100mm of compacted GAP40 basecourse be added to the existing surface to provide a more appropriate fit for purpose access.

## RECOMMENDATIONS

1. Auckland Council will likely require a geotechnical review of the final architectural plans to support any building consent application. This office should therefore be given the opportunity to review the final architectural design plans for the future pavilion on the subject site including the site works and/or earthworks design plan. This is to ensure the proposed development generally complies with recommendations of this reporting.
2. All stormwater runoff from
  - the building site
  - tank overflows
  - hardstand areas
  - surface and subsoil drainageshould be collected into a sealed stormwater system and discharged through a suitable scour resistant outlet well clear of the building site.
3. This office or another Chartered Professional Engineer should be retained by the owner to inspect all earthworks operations and foundation excavations and certify same on completion.
4. The building platform should be modified using lime stabilisation to a depth of 600mm using a minimum of 10kg/m<sup>2</sup> (2%) lime for each 300mm lift. The platform stabilisation should extend a minimum horizontal distance of 1.0m outside the building footprint.
5. An equivalent weight of earthfill to the proposed pavilion should be placed on top of the building platform to pre-load the underlying soils. Primary and secondary settlement should be monitored until the 95-percentile settlement has occurred.
6. All buried and overhead services should be accurately located on site prior to the commencement of any construction work and protected during the construction work.
7. All earthfill should be constructed in accordance with the requirements of NZS 4431:1989. All engineered cohesive earthfill should consist of clean clay soil between 4% below and 2% above optimum moisture content. The fill should be placed in an uncompacted uniform layer (free of lumps exceeding half the layer thickness) not exceeding 200mm in thickness.

Each layer should be compacted using either a heavy sheep's-foot or pad-foot roller to achieve an average undrained shear strength of 140kPa, with no shear strengths less than 100kPa and a maximum of 10% air voids.

As the result of the potential elevated groundwater levels and/or moisture content within the soils, the earthworks should be carried out over the summer season during period(s) of extended dry weather to ensure the required compaction standards are achieved. To achieve the required compaction standards in the winter condition (or during periods of wet weather) the earth-worked material will most likely require lime drying. As a result of the lime drying it may be necessary to undercut the cut area below finished subgrade level, rework and lime dry this material to ensure the completed building platform, including amenity area has consistent soil properties throughout the platform.

The cost implications of completing the earthworks during periods of poor weather are likely to be significant.

8. All engineered earthfill batters should be constructed at a gradient no steeper than 8H:1V (approximately 7°).

The entire building platform including amenity areas should comprise engineered earthfill constructed to the above-mentioned standard. The platform should extend a minimum of 2.0m from the edge of the dwelling before being battered.

9. All compacted hardfill placed should consist of GAP 40 (or equivalent, Limestone aggregate is not considered suitable) compacted using a vibrating pedestrian roller in layers not exceeding 150mm in thickness.

Lower standard "run of the pit" hardfill approved by the engineer may be used for bulkfilling. The hardfill should be compacted in layers 2.5 times the maximum particle size.

10. As a result of the risk of the weight of fill inducing consolidation of the subsoils all filling should not exceed 1.2m in thickness, without further geotechnical input. The existing ground levels in the vicinity of the existing pavilion is around RL 2.8m and the recommended future platform level is RL 3.60m therefore 800mm of controlled earthfill will be required.

11. Due to the potential shrink/swell nature of the underlying soils when slab-on-grade construction is carried out during periods of extended dry weather (ie: the summer season) excavated floor slab areas should be thoroughly wetted and soaked for a minimum of 48 hours prior to final preparation of the impermeable damp proof course and concrete pouring. This can be achieved with fine spraying the prepared sub-grade with a hose or with heavy spraying of the compacted hardfill under the slab. Rapid construction following excavation and benching is also considered a suitable option.

12. Where using a reinforced waffle raft type concrete floor slab in moderate to highly expansive soil conditions, a minimum of 150mm layer of compacted GAP 40 basecourse should be placed beneath the slab to help minimise potential effects of soil heaving.

## LIMITATION

This report has been prepared solely for the benefit of Auckland Council as our client with respect to the brief. The reliance by other parties on the information or opinions contained in the report shall, without prior review and agreement in writing be at such parties sole risk.

The recommendations and opinions in this report are based on data from two boreholes, two Scala Penetrometer tests from existing ground level and four test pits. The nature and continuity of subsoil conditions away from the borehole positions is inferred and it must be appreciated that actual conditions could vary from the assumed model. Should variations in subsoil conditions from those described in this report be encountered it is essential that Hutchinson Consulting Engineers Limited be contacted as it may affect the recommendations and design parameters given in this report.

Should you wish to discuss any aspects of the above information, please contact the above office.

We trust this meets with your approval.

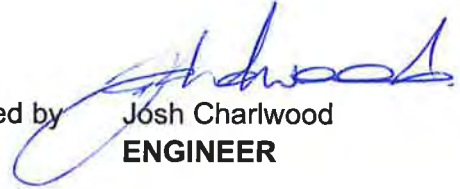
Yours faithfully  
**HUTCHINSON CONSULTING ENGINEERS LTD**

Prepared by



Jayden Quensell  
**ENGINEER**

Reviewed by



Josh Charlwood  
**ENGINEER**













Approved by



Ian Hutchinson  
**MANAGING DIRECTOR**

SOIL STRENGTH CLASSIFICATION (Fine grained cohesive soils)			SCALA PENETROMETER RESULTS	
TERM	FIELD IDENTIFICATION	SHEAR STRENGTH (kPa)	TERM	SCALA PENETROMETER (No. of blows/100mm)
Very Soft (Vs)	Exudes between fingers when squeezed	<12	Very dense	>17
Soft (S)	Easily indented by fingers	12–25	Dense	7–17
Firm (F)	Indented only by strong finger pressure	25–50	Medium dense	3–7
Stiff (St)	Cannot be indented by thumb pressure	50–100	Loose	1–3
Very Stiff (VSt)	Indented by thumbnail	100–200	Very loose	0–2
Hard (H)	Difficult to indent by thumbnail	200–500		

PROPORTIONAL TERMS DEFINITION				MOISTURE CONDITION
	TERM	% OF SOIL MASS	EXAMPLE	
SUBORDINATE FRACTION	(...)y	20–50	Sandy	Dry (D)—Soil looks and feels dry; cohesive soils usually hard, powdery or friable, granular soils run freely through hands
MAJOR FRACTION	... – ... ...	≥50 major constituent	SAND–GRAVEL GRAVEL	Moist (M)—Soil feels cool, darkened in colour; granular soils tend to cohere, cohesive soils usually weakened by moisture presence, but one gets no free water on hands when remoulding
MINOR FRACTION	trace ... minor ... some ...	<5 5–12 12–20	trace sand minor sand some sand	Wet (W)—Soil feels cool, darkened in colour; granular soils tend to cohere, cohesive soils usually weakened and free water forms on hands when handling
IN-SITU STRENGTH TESTING				
V128	Insitu Shear Strength (kPa) corrected to BS:1377			Saturated (S)—Soil feels cool, darkened in colour and free water is present on the sample. Fully saturated refers to the case where the soil is below the water table
R52	Remoulded Shear Strength (kPa)			
UTP	Unable to penetrate			
CH	Clegg Hammer			

PARTICLE SIZE TERMINOLOGY		GRAPHIC SYMBOLS			
SOIL FRACTION	PARTICLE SIZE RANGE				
CLAY	<2µm	 FILL	 CLAY	 MUDSTONE	
SILT	2–60µm				
SAND fine	0.06–0.2mm	 TOPSOIL	 SAND	 SANDSTONE	
medium	0.2–0.6mm				
coarse	0.6–2.0mm				
GRAVEL fine	2.0–6.0mm	 ORGANIC (PEAT)	 GRAVEL	 LIMESTONE	
medium	6.0–20.0mm				
coarse	20.0–60.0mm				
COBBLES	60.0–200.0mm	 SILT	 SILTSTONE	 GREYWACKE	
BOULDER	>200.0mm				

PLASTICITY TERMS DEFINITION		COLOURS			PARTICLE SHAPE (roundness terms)
		1	2	3	
Non plastic	Sample can't be rolled				
Slightly plastic	Sample can be rolled into 3.5mm thread	light dark	pinkish reddish yellowish brownish greenish bluish greyish	pink red orange yellow brown green blue white grey black	Rounded 
Moderately plastic	Thread can be bent				Sub-rounded 
Highly plastic	Thread bends alot				Angular 
					Sub-angular 





# LOG OF BOREHOLE NO: 1

50mm DIAMETER HAND AUGER

JOB No: 23985

DATE: 19/01/2022

TESTED BY: JC

SHEAR VANE No: 1270

(SHEAR VANE TESTING BASED ON BS1377)

CLIENT: AUCKLAND COUNCIL

LOCATION: A & P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

GEOLOGICAL UNIT	SOIL DESCRIPTION	GRAPHIC LOG	DEPTH (m)	CONSISTENCY	SHEAR STRENGTH (kPa)	MOISTURE CONDITION	GROUNDWATER	COMMENTS
HOLOCENE RIVER DEPOSITS	dark brown, Topsoil, rootlets			H		D/M		
	highly plastic, whitish grey, light orangey brown inclusions, CLAY, with some silt	-X- -X- -X- -X- -X-	0.5 1.0		V88/R33 V45/R16	M W		
	extremely plastic, light blue, CLAY, minor silt	-X- -X- -X-	1.5		V39/R10	S	▼	19/01/22
	E.O.B. @ 1.5m – terminated, borehole collapsing		2.0 2.5 3.0 3.5 4.0 4.5 5.0					



# LOG OF BOREHOLE NO: 2

50mm DIAMETER HAND AUGER

JOB No: 23985

DATE: 19/01/2022

TESTED BY: JQ

SHEAR VANE No: 1270

(SHEAR VANE TESTING BASED ON BS1377)

CLIENT: AUCKLAND COUNCIL

LOCATION: A & P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

GEOLOGICAL UNIT	SOIL DESCRIPTION	GRAPHIC LOG	DEPTH (m)	CONSISTENCY	SHEAR STRENGTH (kPa)	MOISTURE CONDITION	GROUNDWATER	COMMENTS
HOLOCENE RIVER DEPOSITS	dark brownish black, Topsoil, rootlets intermixed with coarse aggregate			St		D/M		
	highly plastic, whitish grey, light orangey brown inclusions, CLAY, with some silt		0.5		V50/R27	M		
	extremely plastic, light blue, CLAY, minor silt		1.0		V70/R36	W		
	E.O.B. @ 1.3m – terminated, borehole collapsing		1.5 2.0 2.5 3.0 3.5 4.0 4.5 5.0			S		19/01/22



# SCALA PENETROMETER TEST RESULTS

CLIENT: AUCKLAND COUNCIL  
 LOCATION: A & P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

JOB No: 23985  
 DATE: 19/01/2022  
 TESTED BY: JC, JQ

DEPTH OF PENETRATION (mm)	SP1	"e" mm/BLOW	"e" mm/BLOW
START DEPTH (m):	0	0 10 20 30 40 50	0 10 20 30 40 50
100	1		4
200	3		3
300	5		5
400	3		4
500	2		4
600	2		5
700	2		4
800	1		3
900	1		4
1000	2		5
1100	2		4
1200	3		4
1300	3		6
1400	2		5
1500	3		5
1600	4		5
1700	3		5
1800	3		5
1900	3		5
2000	3		5
2100	3		5
2200	5		5
2300	3		5
2400	3		6
2500	3		5
2600	3		15
2700	4		12
2800	4		10
2900	3		6
3000	3		8
3100	3		8
3200	4		8
3300	4		8
3400	3		9
3500	3		11
3600	3		
3700	4		
3800	3		
3900	3		
4000	4		
4100	4		
4200	3		
4300	4		
4400	3		
4500	3		
END DEPTH (m):		0 10 20 30 40 50	8.0 0 10 20 30 40 50

\*Based on test method: NZS4402:1988 Test 6.5.2 Dynamic Cone Penetrometer



# SCALA PENETROMETER TEST RESULTS

CLIENT: AUCKLAND COUNCIL  
 LOCATION: A & P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

JOB No: 23985  
 DATE: 19/01/2022  
 TESTED BY: JC, JQ

DEPTH OF PENETRATION (mm)	SP2	"e" mm/BLOW					"e" mm/BLOW							
START DEPTH (m):	0	0	10	20	30	40	50	0	10	20	30	40	50	
100	2							2						
200	2							3						
300	2							2						
400	2							2						
500	1							3						
600	1							3						
700	1							4						
800	1							6						
900	1							5						
1000	2							5						
1100	3							6						
1200	4							5						
1300	3							5						
1400	3							5						
1500	3							8						
1600	2							9						
1700	2							10						
1800	2							10						
1900	2							10						
2000	2							10						
2100	3							12						
2200	2							11						
2300	2							13						
2400	2							13						
2500	3							13						
2600	2													
2700	3													
2800	3													
2900	2													
3000	2													
3100	2													
3200	2													
3300	4													
3400	3													
3500	2													
3600	2													
3700	3													
3800	2													
3900	2													
4000	2													
4100	4													
4200	3													
4300	4													
4400	3													
4500	3													
END DEPTH (m):		0	10	20	30	40	50	7.0	0	10	20	30	40	50

\*Based on test method: NZS4402:1988 Test 6.5.2 Dynamic Cone Penetrometer

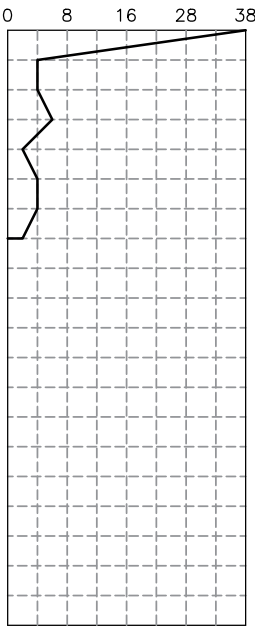


# LOG OF TEST-PIT NO: 1

CLIENT: AUCKLAND COUNCIL  
 LOCATION: A&P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

JOB No: 23985  
 DATE: 18/02/2022  
 TESTED BY: JQ/KU  
 SHEAR VANE No: -

PAVEMENT DESCRIPTION	DEPTH (m)	SCALA PENETROMETER		
		Depth (mm)	Blows	CBR %
(0-190mm) GAP40, blue metal, well graded	0.0	100	2	4
	0.05	200	2	4
	0.1	300	3	6
	0.15	400	1	2
	0.2	500	2	4
	0.25	600	2	4
	0.3	700	1	2
	0.35	800		
	0.4	900		
	0.45	1000		
	0.5	1100		
		1200		
		1300		
		1400		
		1500		
		1600		
		1700		
		1800		
		1900		
		2000		



- TEST METHODS:
- NZS4402:1988 Test 6.5.2 Dynamic Cone Penetrometer
  - Inferred CBR values taken from Austroads Pavement Design Manual 2004
  - Shear Strength using a Hand Held Shear Vane, NZ Geotechnical Soc Inc 8/2001

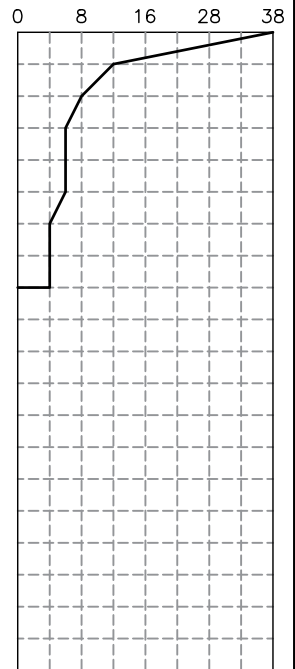
CLIENT: AUCKLAND COUNCIL  
LOCATION: A&P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

JOB No: 23985  
DATE: 18/02/2022  
TESTED BY: JQ/KU  
SHEAR VANE No: -

PAVEMENT DESCRIPTION	DEPTH (m)	SCALA PENETROMETER		
		Depth (mm)	Blows	CBR %
(0-140mm) GAP40, blue metal, well graded	0.0	100	6	12
	0.05	200	4	8
	0.10	300	3	6
	0.15	400	3	6
	0.20	500	3	6
	0.25	600	2	4
	0.30	700	2	4
	0.35	800	2	4
	0.40	900		
	0.45	1000		
	0.50	1100		
	0.55	1200		
	0.60	1300		
	0.65	1400		
	0.70	1500		
	0.75	1600		
	0.80	1700		
	0.85	1800		
	0.90	1900		
	0.95	2000		


  

TEST METHODS:
<ul style="list-style-type: none"> <li>NZS4402:1988 Test 6.5.2 Dynamic Cone Penetrometer</li> <li>Inferred CBR values taken from Austroads Pavement Design Manual 2004</li> <li>Shear Strength using a Hand Held Shear Vane, NZ Geotechnical Soc Inc 8/2001</li> </ul>



CLIENT: AUCKLAND COUNCIL  
LOCATION: A&P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

JOB No: 23985  
DATE: 18/02/2022  
TESTED BY: JQ/KU  
SHEAR VANE No: -


PAVEMENT DESCRIPTION	DEPTH (m)	SCALA PENETROMETER		
		Depth (mm)	Blows	CBR %
(0-200mm) GAP40, blue metal, well graded	0.0	100	2	4
	0.1	200	2	4
	0.2	300	1	2
	0.3	400	2	4
	0.4	500	2	4
	0.5	600	2	4
	0.6	700	3	6
	0.7	800		
	0.8	900		
	0.9	1000		
	1.0	1100		
	1.1	1200		
	1.2	1300		
	1.3	1400		
	1.4	1500		
	1.5	1600		
	1.6	1700		
	1.7	1800		
	1.8	1900		
	1.9	2000		
	0.0			
	0.1			
	0.2			
	0.3			
	0.4			
	0.5			
	0.6			
	0.7			
	0.8			
	0.9			
	1.0			
	1.1			
	1.2			
	1.3			
	1.4			
	1.5			
	1.6			
	1.7			
	1.8			
	1.9			
2.0				
TEST METHODS:				
<ul style="list-style-type: none"> <li>NZS4402:1988 Test 6.5.2 Dynamic Cone Penetrometer</li> <li>Inferred CBR values taken from Austroads Pavement Design Manual 2004</li> <li>Shear Strength using a Hand Held Shear Vane, NZ Geotechnical Soc Inc 8/2001</li> </ul>				

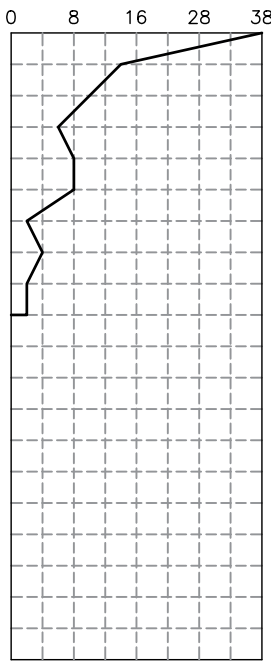


# LOG OF TEST-PIT NO: 4

CLIENT: AUCKLAND COUNCIL  
 LOCATION: A&P SHOWGROUNDS, 63 RAILWAY STREET, HELENSVILLE

JOB No: 23985  
 DATE: 18/02/2022  
 TESTED BY: JQ/KU  
 SHEAR VANE No: -

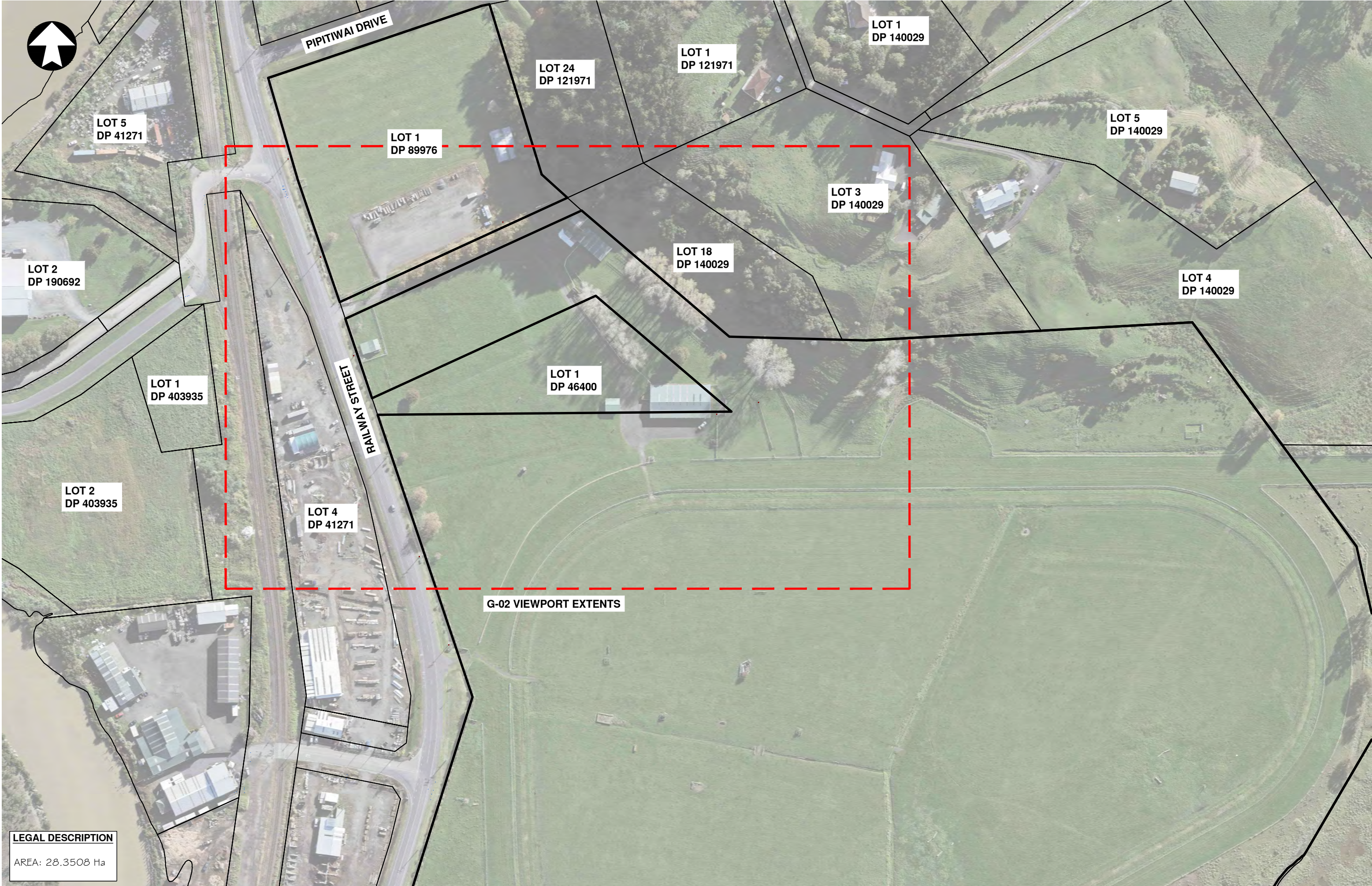
PAVEMENT DESCRIPTION	DEPTH (m)	SCALA PENETROMETER		
		Depth (mm)	Blows	CBR %
(0-190mm) GAP40, blue metal, well graded	0.0	100	7	14
	0.05	200	5	10
	0.10	300	3	6
	0.15	400	4	8
	0.20	500	4	8
	0.25	600	1	2
	0.30	700	2	4
	0.35	800	1	2
	0.40	900	1	2
	0.45	1000		
	0.50	1100		
	0.55	1200		
	0.60	1300		
	0.65	1400		
	0.70	1500		
	0.75	1600		
	0.80	1700		
	0.85	1800		
	0.90	1900		
	0.95	2000		



TEST METHODS:

- NZS4402:1988 Test 6.5.2 Dynamic Cone Penetrometer
- Inferred CBR values taken from Austroads Pavement Design Manual 2004
- Shear Strength using a Hand Held Shear Vane, NZ Geotechnical Soc Inc 8/2001





**LEGAL DESCRIPTION**

AREA: 28.3508 Ha

No.	Revision	Drawn	Chk.	Appd.	Date



**Hutchinson**  
CONSULTING ENGINEERS

PO Box 150, Orewa 0946  
154 Centreway Road, Orewa 0931  
Ph: 09 426 5702 [www.hc.co.nz](http://www.hc.co.nz)

Design	-	-
Drawn	J. QUENSELL	FEB 2022
Checked	J. CHARLWOOD	FEB 2022
Approved	I. T. HUTCHINSON	FEB 2022
Scale	1:2000 @ A3	
Scale vert. exag.	-	



**Auckland Council**  
Te Kaunihera o Tāmaki Makaurau

Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>SITE PLAN WITH AERIAL OVERLAY</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>G-01</b>
Rev.	-



EX 150mmØ AC WATERMAIN PIPELINE

EX 450mmØ CONC WW PIPELINE





EXISTING VEHICLE ACCESSWAY

EXISTING PAVILLION TO BE REPLACED

**LEGAL DESCRIPTION**

AREA: 28.3508 Ha

**LEGEND**

- CONTOURS — 50 —
- APPROXIMATE TEST PIT LOCATION  TP 1
- APPROXIMATE SCALA PENETROMETER LOCATION  SP 1
- APPROXIMATE BOREHOLE LOCATION  BH 1
- SLOPE ANGLE  15°

NOTE:  
SERVICES ARE INDICATIVE ONLY AND ARE FROM AUCKLAND COUNCIL'S GIS RECORDS.  
ALL AREAS & LEVELS SUBJECT TO FINAL SURVEY.



PO Box 150, Orewa 0946  
154 Centreway Road, Orewa 0931  
Ph: 09 426 5702 [www.hc.co.nz](http://www.hc.co.nz)

Design	-	-
Drawn	J. QUENSELL	FEB 2022
Checked	J. CHARLWOOD	FEB 2022
Approved	I. T. HUTCHINSON	FEB 2022
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Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**GEOTECHNICAL INVESTIGATION  
SITEPLAN**

Sheet No.

**G-02**

Job No.

**A3-23985**

Rev.

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No.	Revision	Drawn	Chk.	Appd.	Date
-	-	-	-	-	-

# AUCKLAND COUNCIL HELENSVILLE A & P SHOWGROUNDS 63 RAILWAY STREET, HELENSVILLE

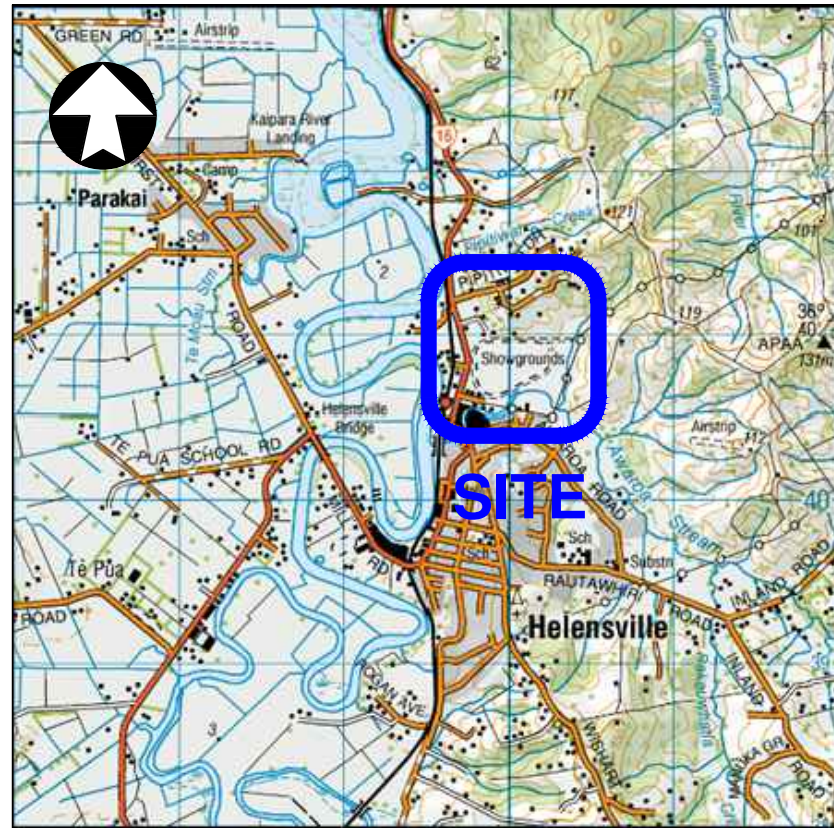
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154 Centreway Road  
Orewa  
Auckland

P.O. Box 150  
Orewa  
Auckland

Telephone (09) 426-5702  
Email info@hc.co.nz



## DRAWINGS

- |     |  |     |  |
|-----|--|-----|--|
| E00 | COVER  | E19 | STORMWATER LAYOUT (SHOWGROUNDS)            |
| E01 | GENERAL CIVIL NOTES                          | E20 | STORMWATER SITEPLAN (SHOWGROUNDS)          |
| E02 | EXISTING SITE PLAN                           | E21 | STORMWATER CHAMBER TYPICAL DETAIL          |
| E03 | FLOOD PLAIN PLAN                             | E22 | 1050 SMART PIT POLYETHYLENE MANHOLE DETAIL |
| E04 | FLOOD PRONE PLAN                             | E23 | STORMWATER TYPICAL DETAILS                 |
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| E06 | VEHICULAR ACCESS PLAN                        | E25 | WASTEWATER PLAN                            |
| E07 | RAILWAY STREET (SH16) CROSS SECTION A-A'     | E26 | PROPOSED EONE WASTEWATER SYSTEM            |
| E08 | TYPICAL RESHAPED ACCESS CROSS SECTION B-B'   | E27 | WATER SUPPLY PLAN                          |
| E09 | TYPICAL CONCRETE ACCESS CROSS SECTION B-B    | E28 | UNDERGROUND POWER SITE PLAN                |
| E10 | GRASS SWALE TYPICAL DETAIL                   |     |  |
| E11 | SHOWGROUNDS ACCESS PLAN                      |     |  |
| E12 | PROPOSED VEHICLE CROSSING CROSS SECTION C-C' |     |  |
| E13 | PROPOSED VEHICLE CROSSING DETAIL             |     |  |
| E14 | PROPOSED SLIDING GATE CROSS SECTION          |     |  |
| E15 | PROPOSED SLIDING GATE FOUNDATION DETAILS     |     |  |
| E16 | EARTHWORKS PLAN                              |     |  |
| E17 | PROPOSED EARTHWORKS CROSS SECTION D-D'       |     |  |
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**NOT FOR CONSTRUCTION**

**23985 E04  
JANUARY 2023**

# CIVIL NOTES

## GENERAL

- These civil drawings shall be read in conjunction with the Specifications.
- Unless otherwise noted, all levels are in metres and relate to Lands and Survey (L&S) 1946 vertical datum. All dimensions are in metres and shall be checked by contractor prior to construction.
- Dimensions shall not be obtained by scaling from drawings. If in doubt, ask.
- All discrepancies shall be referred to the Engineer for resolution before proceeding with the work.
- The stability of the structure during construction including all temporary works and propping are the responsibility of the contractor.
- All materials and workmanship shall be in accordance with the current Codes of Practice except where varied by the Specification and/or Drawings.
- Where proprietary products are specified in the documents, the contractor may submit an alternative product for approval.
- Temporary work and propping is the responsibility of the Contractor.

## ABBREVIATIONS

- kPa Kilopascal
- CBR California Bearing Ratio
- MPa Megapascal

## SITE WORKS

- Origins of levels is the Lands and Survey (L&S) datum 1946 vertical datum.
- All drawings to be read in conjunction with the specification.
- Existing services shown indicatively only. Before construction commences, it is the contractor's responsibility to locate the position and depth of all services that could be adversely affected by their operations.
- All work to be in accordance with the Territorial Authority standards.
- Catchpit positions and grate levels are approximate. Final positions to suit finished levels.
- All work on public drains is to be carried out by an approved licensed drain layer, to the relevant Territorial Authorities standards.
- Temporary batters to have a 1V:1H maximum slope, unless alternative advised by the geotechnical report.
- Work to include the stripping of vegetation, topsoil, and any surface deleterious matter. This includes the breaking out of substructures and hard paving where required.
- Care is to be exercised adjacent to existing trees that are to be retained.
- The subgrade shall be inspected by the engineer and proof rolled as necessary. Any soft spots shall be over-excavated and compacted back to level with imported hardfill material.
- The Contractor shall ensure the subgrade below reinforced concrete slabs is thoroughly soaked prior to slab construction where required so the subgrade achieves natural optimum moisture content.

## CONCRETE SLAB

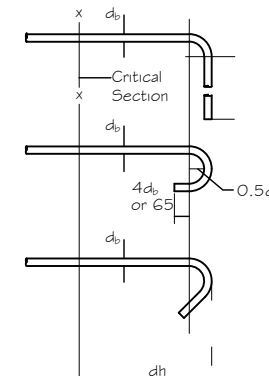
- Concrete construction in accordance with NZS 3109 and NZS 3114.
- Minimum 20 MPa concrete strength unless otherwise specified in the civil drawings or the specifications.
- Light vehicles and construction equipment can use concrete slab after 7 days of continuous water curing. Full use of concrete slab after 28 days of curing.
- Finishes to concrete to be as per specification.
- Reinforcing mesh to be located within the top third of slab (ie 50mm top cover for 150mm thick concrete slab). Reinforcing mesh to be placed on appropriately sized mesh chair to achieve required mesh cover at maximum 1.0m grid spacing.
- Saw cut expansion joints at 4m centres maximum each way. Saw cuts to be a minimum of 3mm wide and at 25% of the slab depth (ie 40mm deep for 150mm thick concrete slab). Saw cuts to be completed within 24 - 48 hours of concrete pour.
- If construction joints are not shown, their location shall be the contractor's responsibility to suit the site conditions of the design. the Contractor is to allow for all construction joints necessary to complete the work, without causing distress to the structure. Location to be agreed with the Engineer.

## REINFORCING

- Steel abbreviations  
 D12's, D16's etc: Deformed grade 300E steel reinforcement to NZS 4671  
 HD12's, HD16's etc: Deformed grade 500E steel reinforcement to NZS 4671  
 RG's, R10's etc: Plain round grade 300MPa steel shear reinforcement to NZS 3679.1  
 G65, G64, etc: Mesh to NZS 3421. Grade 485 MPa.

- Minimum bend diameters of Class E steel bars, with yield strength 300MPa or 500MPa
    - Normal
      - Bar diameter (db) 6-20mm = 5db (d)
      - Bar diameter (db) 25-32mm = 6db (d)
    - Stirrups or ties
      - For deformed bars:
        - Bar diameter (db) 6-20mm = 4db
        - Bar diameter (db) 25-32mm = 6db
      - For plain bars:
        - Bar diameter (db) 6-20mm = 2db
        - Bar diameter (db) 25-32mm = 3db
- For example;

Bar Diameter	Type	Required Bend Diameter
RG	Stirrup or tie	12mm
D10	Stirrup or tie	40mm
D12/HD12	Normal	60mm
D25/HD25	Normal	150mm



- Hook definitions;
  - A 90° turn plus an extension of at least 12 bar diameters at the free end of the bar.
  - A semi-circular turn plus an extension of at least 4 bar diameters but not less than 65mm at the free end of the bar.
  - A stirrup hook, which is defined as a 135° turn around a longitudinal bar plus an extension of at least 8 stirrup bar diameters for plain bars and 6 stirrup bar diameters for deformed bars at the free end of the bar embedded in the core concrete of the member.
- Minimum lap length as follows:
  - Masonry lap lengths;
    - Grade 300 reinforcing = 40 x bar diameter
    - Grade 500 reinforcing = 70 x bar diameter
  - Concrete lap lengths;

Concrete Strength	Steel Strength	Lap Length for Straight Bars	Lap Length for Hooked Bars
20 MPa	300 MPa	34 x db	17 x db
20 MPa	500 MPa	56 x db	27 x db
25 MPa	300 MPa	30 x db	15 x db
25 MPa	500 MPa	50 x db	24 x db
30 MPa	300 MPa	28 x db	14 x db
30 MPa	500 MPa	46 x db	22 x db

- All Concrete Cover to reinforcing steel to be in accordance with drawings and / or referred to Engineer. Code required minimum values as follows.

Exposure Classification	Concrete Strength (MPa)					Masonry
	17.5	20	25	30	40	
	Minimum cover (mm)					
Closed Interior	30	25	25	20	20	35
External (Inland)	50	40	35	30	25	45
Coastal Perimeter	65	50	40	35	30	50
Coastal Frontage*	-	-	50	45	40	60
Cast against Ground	75	75	75	75	75	-
Cast against Ground with DPC	50	50	50	50	50*	-

- \* Within 100m of high tide mark or within 500mm of high tide mark to the direction of the prevailing wind.

- Welding and re-bending of reinforcement:

- Do not bend Grade 500E bars to diameters less than those permitted by NZS 3101 and NZS 3109.
- Do not re-bend Grade 500E microalloy bars of 16mm or less, unless the strict conditions of NZS 3109 can be met.
- Do not re-bend Grade 500E microalloy bars more than 16mm diameter.
- Do not weld Grade 500E microalloy bars if it can be avoided.
- No tack welding of reinforcing shall take place without explicit written approval of the Engineer.

- Minimum distribution steel shall be D12 at 300 centres

- No Grade 500E QT bars shall be used.

- Reinforcement laps to be to NZS3109. Mesh lap to be one mesh + 25mm

- Adequate support to all reinforcement shall be made by the use of spacers, stools and / or the like.

- Notation used for reinforcement fixing:

B/W	Both ways
B/F	Both faces
E/F	Each face
V	Vertical
H	Horizontal
N/F	Near Face
BOT	Bottom
ABR	Alternative bars reversed

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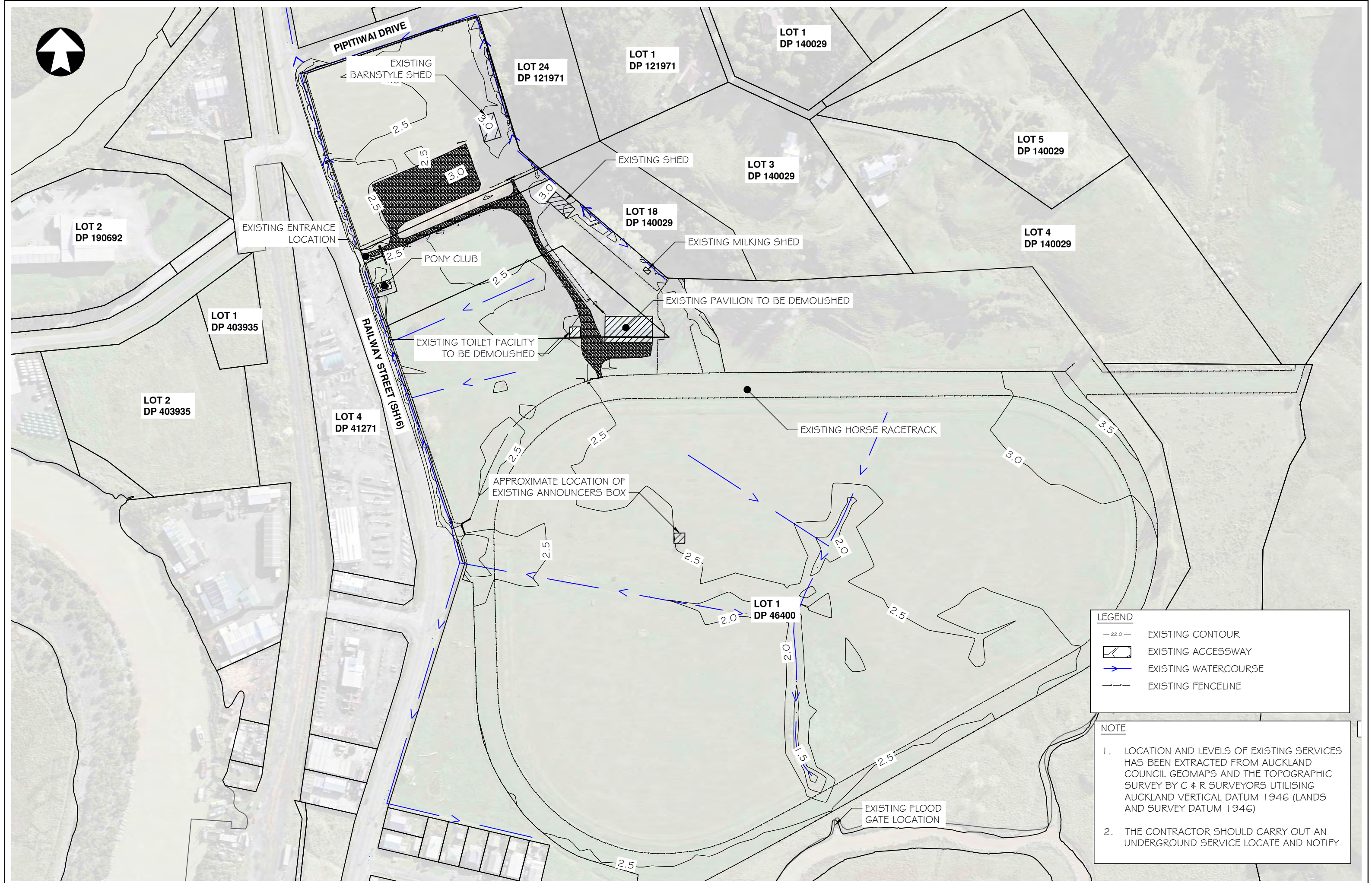
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154 Centreway Road, Orewa 0931  
Ph: 09 426 5702 [www.hc.co.nz](http://www.hc.co.nz)

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**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>GENERAL CIVIL NOTES</b>	Sheet No.	<b>E-00</b>
Job No.	<b>A3-23985</b>	Rev.	-



**LEGEND**

- 22.0- EXISTING CONTOUR
- EXISTING ACCESSWAY
- EXISTING WATERCOURSE
- EXISTING FENCELINE

**NOTE**

1. LOCATION AND LEVELS OF EXISTING SERVICES HAS BEEN EXTRACTED FROM AUCKLAND COUNCIL GEOMAPS AND THE TOPOGRAPHIC SURVEY BY C & R SURVEYORS UTILISING AUCKLAND VERTICAL DATUM 1946 (LANDS AND SURVEY DATUM 1946)
2. THE CONTRACTOR SHOULD CARRY OUT AN UNDERGROUND SERVICE LOCATE AND NOTIFY

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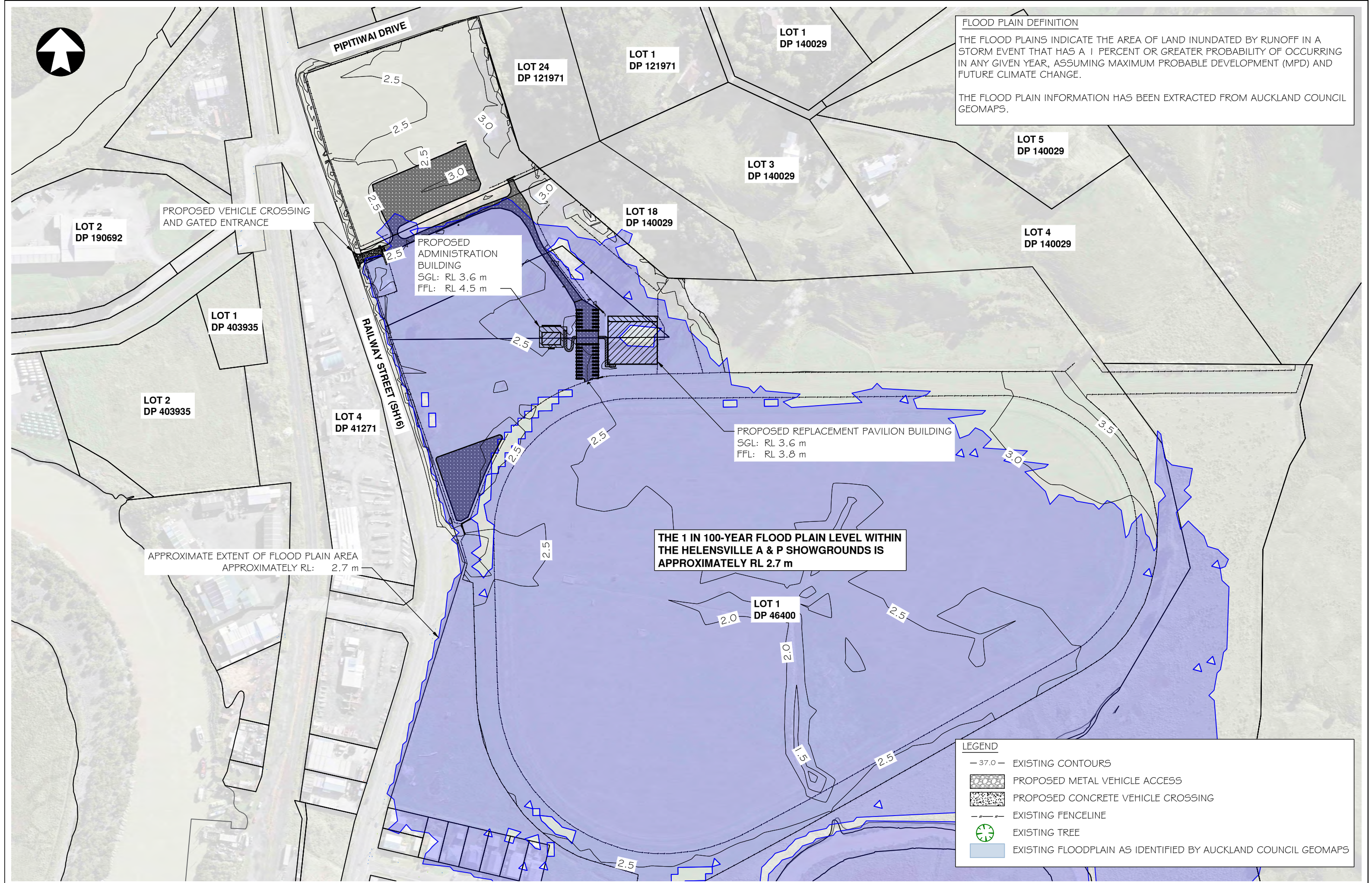
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63 RAILWAY STREET, HELENSVILLE**

Title	<b>EXISTING SITE PLAN</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-01</b>
Rev.	-



**FLOOD PLAIN DEFINITION**  
 THE FLOOD PLAINS INDICATE THE AREA OF LAND INUNDATED BY RUNOFF IN A STORM EVENT THAT HAS A 1 PERCENT OR GREATER PROBABILITY OF OCCURRING IN ANY GIVEN YEAR, ASSUMING MAXIMUM PROBABLE DEVELOPMENT (MPD) AND FUTURE CLIMATE CHANGE.  
 THE FLOOD PLAIN INFORMATION HAS BEEN EXTRACTED FROM AUCKLAND COUNCIL GEOMAPS.



PROPOSED VEHICLE CROSSING AND GATED ENTRANCE

PROPOSED ADMINISTRATION BUILDING  
 SGL: RL 3.6 m  
 FFL: RL 4.5 m

PROPOSED REPLACEMENT PAVILION BUILDING  
 SGL: RL 3.6 m  
 FFL: RL 3.8 m

THE 1 IN 100-YEAR FLOOD PLAIN LEVEL WITHIN THE HELENSVILLE A & P SHOWGROUNDS IS APPROXIMATELY RL 2.7 m

APPROXIMATE EXTENT OF FLOOD PLAIN AREA APPROXIMATELY RL: 2.7 m

**LEGEND**

- 37.0 — EXISTING CONTOURS
- PROPOSED METAL VEHICLE ACCESS
- PROPOSED CONCRETE VEHICLE CROSSING
- - - - EXISTING FENCELINE
- EXISTING TREE
- EXISTING FLOODPLAIN AS IDENTIFIED BY AUCKLAND COUNCIL GEOMAPS

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 PROPOSED PARK IMPROVEMENTS AT  
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 63 RAILWAY STREET, HELENSVILLE**

Title  
**FLOOD PLAIN PLAN**

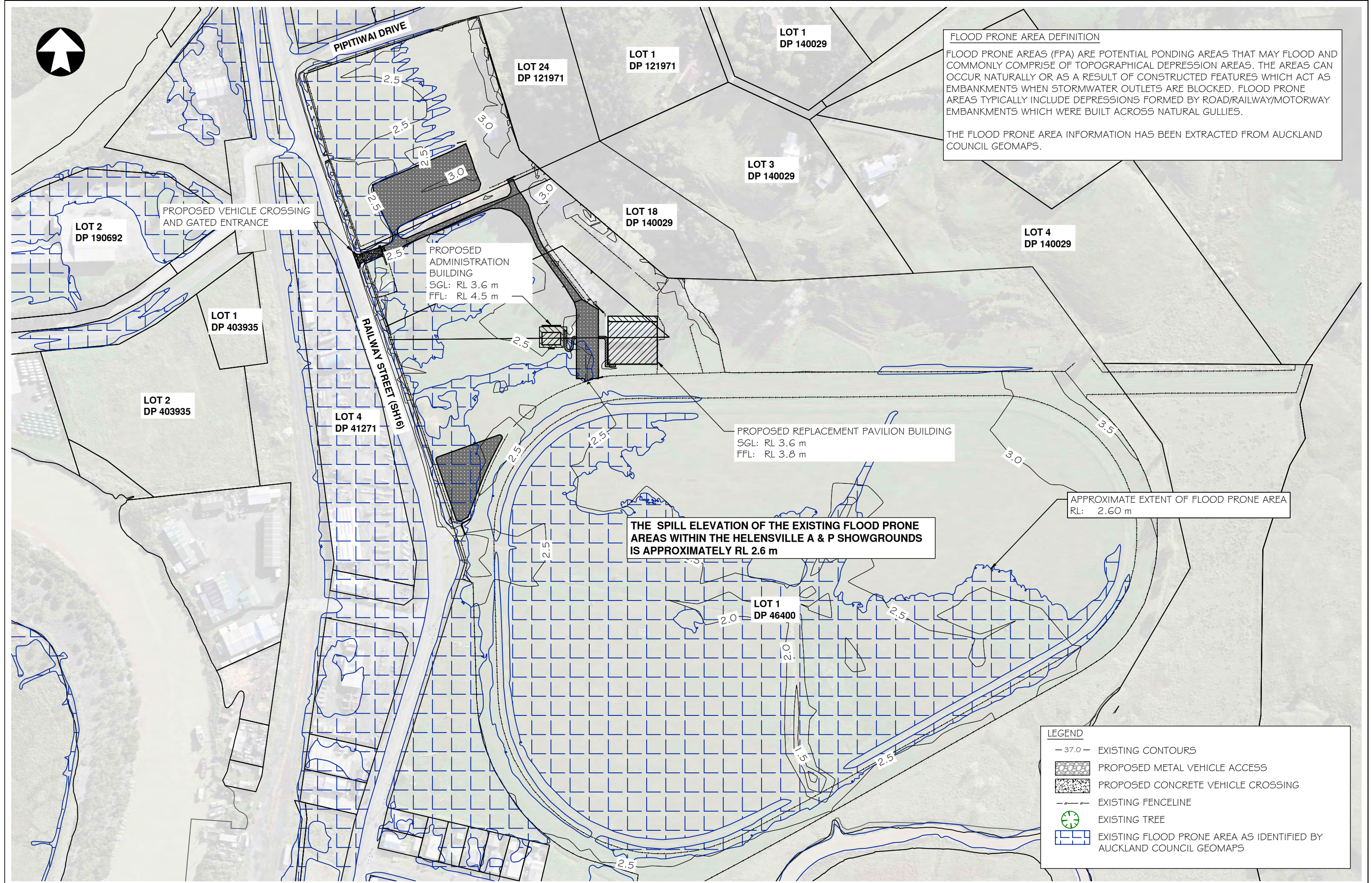
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**A3-23985**

Sheet No.  
**E-02**

Rev.  
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**FLOOD PRONE AREA DEFINITION**  
 FLOOD PRONE AREAS (FPA) ARE POTENTIAL PONDING AREAS THAT MAY FLOOD AND COMMONLY COMPRISE OF TOPOGRAPHICAL DEPRESSION AREAS. THE AREAS CAN OCCUR NATURALLY OR AS A RESULT OF CONSTRUCTED FEATURES WHICH ACT AS EMBANKMENTS WHEN STORMWATER OUTLETS ARE BLOCKED. FLOOD PRONE AREAS TYPICALLY INCLUDE DEPRESSIONS FORMED BY ROAD/RAILWAY/MOTORWAY EMBANKMENTS WHICH WERE BUILT ACROSS NATURAL GULLIES.  
 THE FLOOD PRONE AREA INFORMATION HAS BEEN EXTRACTED FROM AUCKLAND COUNCIL GEOMAPS.



**THE SPILL ELEVATION OF THE EXISTING FLOOD PRONE AREAS WITHIN THE HELENSVILLE A & P SHOWGROUNDS IS APPROXIMATELY RL 2.6 m**

APPROXIMATE EXTENT OF FLOOD PRONE AREA  
 RL: 2.60 m

**LEGEND**

— 37.0 —	EXISTING CONTOURS
	PROPOSED METAL VEHICLE ACCESS
	PROPOSED CONCRETE VEHICLE CROSSING
— — —	EXISTING FENCELINE
	EXISTING TREE
	EXISTING FLOOD PRONE AREA AS IDENTIFIED BY AUCKLAND COUNCIL GEOMAPS

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 PROPOSED PARK IMPROVEMENTS AT  
 HELENSVILLE A & P SHOWGROUNDS  
 63 RAILWAY STREET, HELENSVILLE**

Title  
**FLOOD PRONE PLAN**

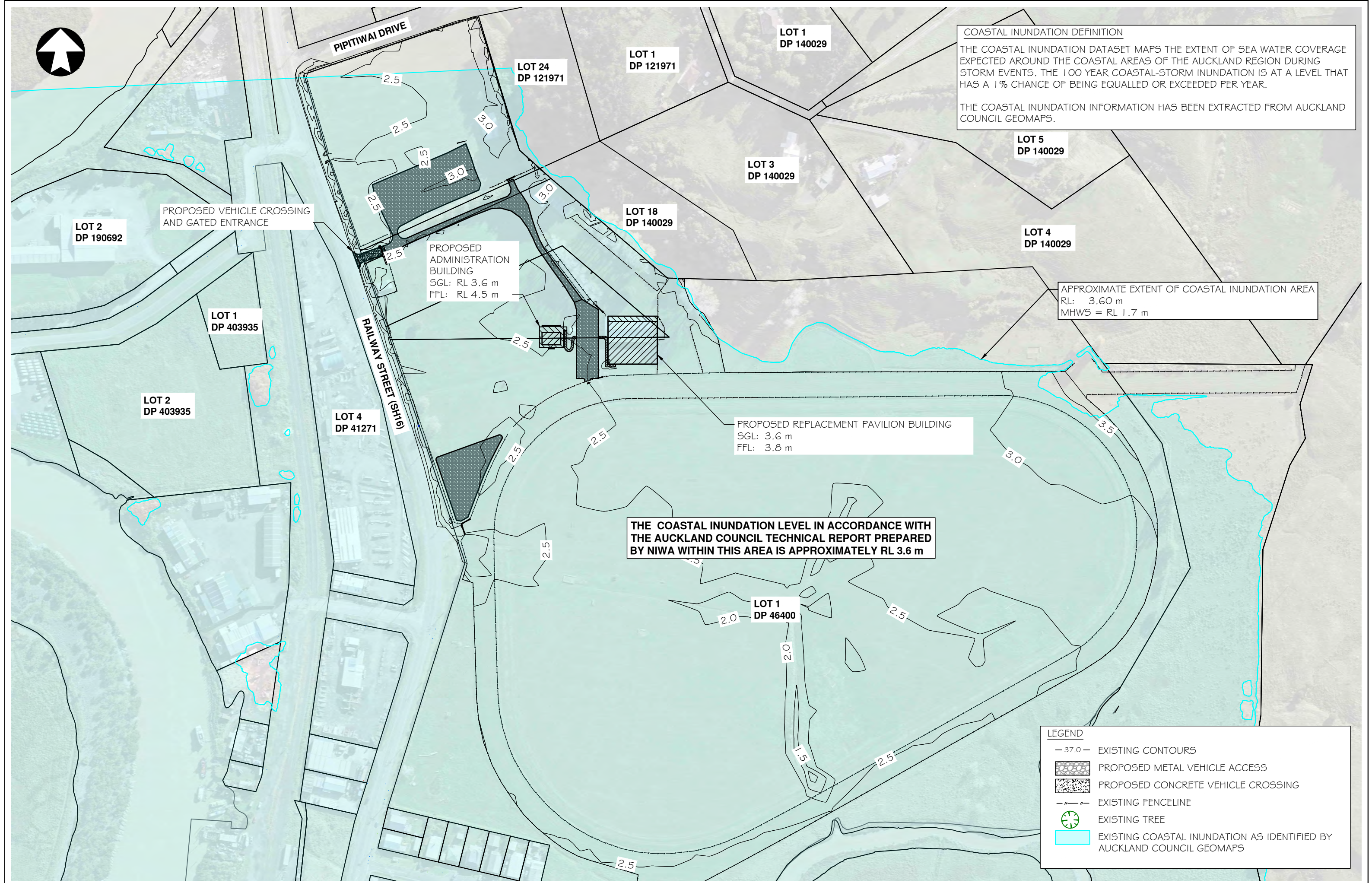
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Sheet No.  
**E-03**

Rev.  
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**COASTAL INUNDATION DEFINITION**  
 THE COASTAL INUNDATION DATASET MAPS THE EXTENT OF SEA WATER COVERAGE EXPECTED AROUND THE COASTAL AREAS OF THE AUCKLAND REGION DURING STORM EVENTS. THE 100 YEAR COASTAL-STORM INUNDATION IS AT A LEVEL THAT HAS A 1% CHANCE OF BEING EQUALLED OR EXCEEDED PER YEAR.  
 THE COASTAL INUNDATION INFORMATION HAS BEEN EXTRACTED FROM AUCKLAND COUNCIL GEOMAPS.



APPROXIMATE EXTENT OF COASTAL INUNDATION AREA  
 RL: 3.60 m  
 MHWS = RL 1.7 m

PROPOSED REPLACEMENT PAVILION BUILDING  
 SGL: 3.6 m  
 FFL: 3.8 m

PROPOSED ADMINISTRATION BUILDING  
 SGL: RL 3.6 m  
 FFL: RL 4.5 m

THE COASTAL INUNDATION LEVEL IN ACCORDANCE WITH THE AUCKLAND COUNCIL TECHNICAL REPORT PREPARED BY NIWA WITHIN THIS AREA IS APPROXIMATELY RL 3.6 m

**LEGEND**

- 37.0 - EXISTING CONTOURS
- [Pattern] PROPOSED METAL VEHICLE ACCESS
- [Pattern] PROPOSED CONCRETE VEHICLE CROSSING
- - - EXISTING FENCELINE
- [Tree Symbol] EXISTING TREE
- [Blue Area] EXISTING COASTAL INUNDATION AS IDENTIFIED BY AUCKLAND COUNCIL GEOMAPS

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 63 RAILWAY STREET, HELENSVILLE**

Title  
**COASTAL INUNDATION PLAN**

Job No.  
**A3-23985**

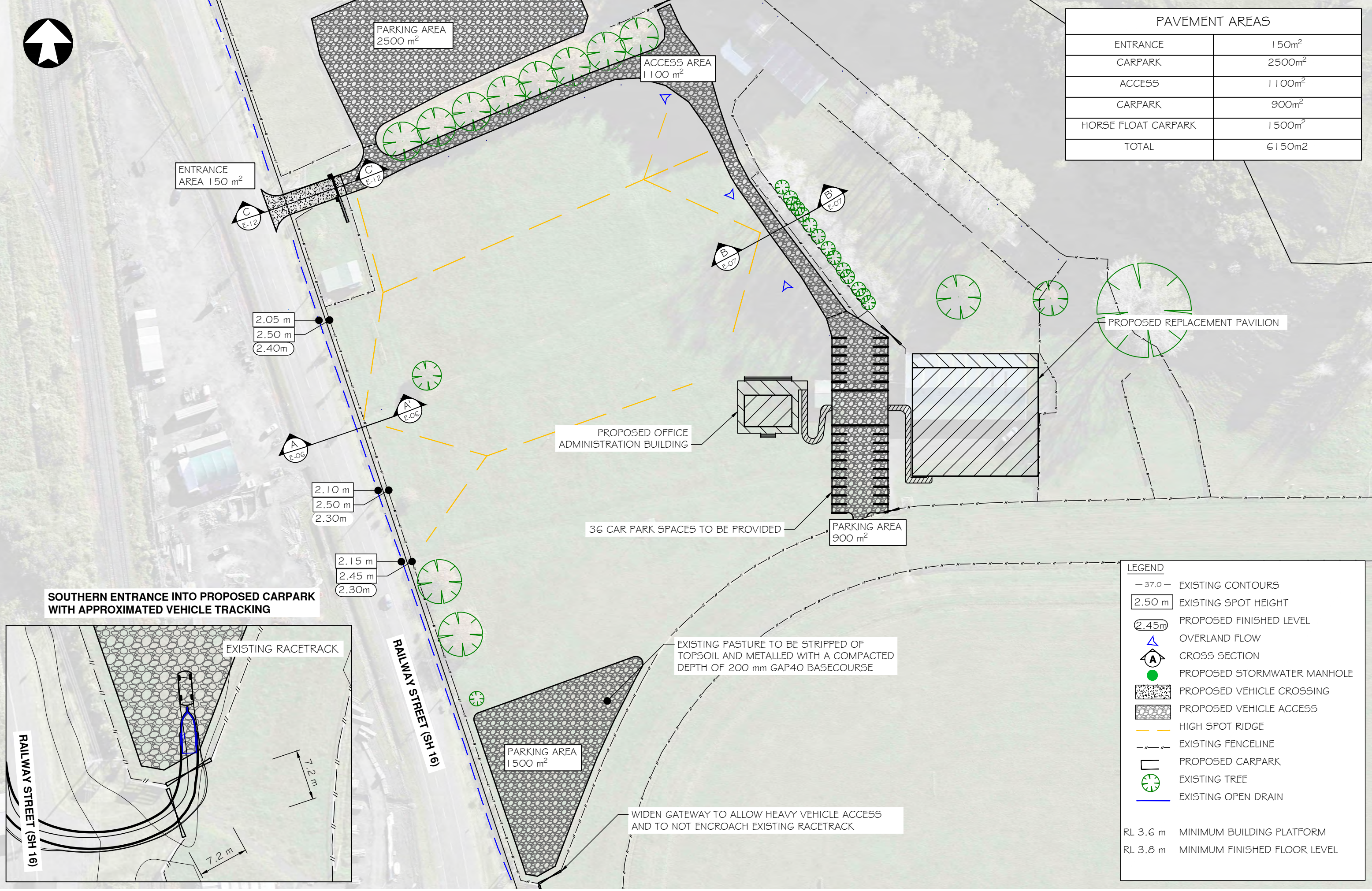
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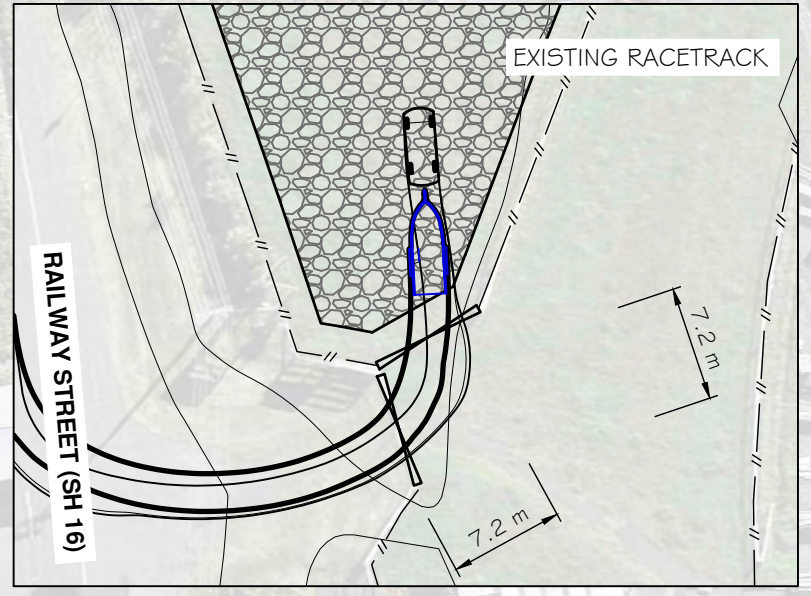




PAVEMENT AREAS	
ENTRANCE	150m <sup>2</sup>
CARPARK	2500m <sup>2</sup>
ACCESS	1100m <sup>2</sup>
CARPARK	900m <sup>2</sup>
HORSE FLOAT CARPARK	1500m <sup>2</sup>
TOTAL	6150m <sup>2</sup>



**SOUTHERN ENTRANCE INTO PROPOSED CARPARK WITH APPROXIMATED VEHICLE TRACKING**



LEGEND	
— 37.0 —	EXISTING CONTOURS
2.50 m	EXISTING SPOT HEIGHT
2.45m	PROPOSED FINISHED LEVEL
	OVERLAND FLOW
	CROSS SECTION
	PROPOSED STORMWATER MANHOLE
	PROPOSED VEHICLE CROSSING
	PROPOSED VEHICLE ACCESS
	HIGH SPOT RIDGE
	EXISTING FENCELINE
	PROPOSED CARPARK
	EXISTING TREE
	EXISTING OPEN DRAIN
RL 3.6 m	MINIMUM BUILDING PLATFORM
RL 3.8 m	MINIMUM FINISHED FLOOR LEVEL

EXISTING PASTURE TO BE STRIPPED OF TOPSOIL AND METALLED WITH A COMPACTED DEPTH OF 200 mm GAP40 BASECOURSE

WIDEN GATEWAY TO ALLOW HEAVY VEHICLE ACCESS AND TO NOT ENCROACH EXISTING RACETRACK

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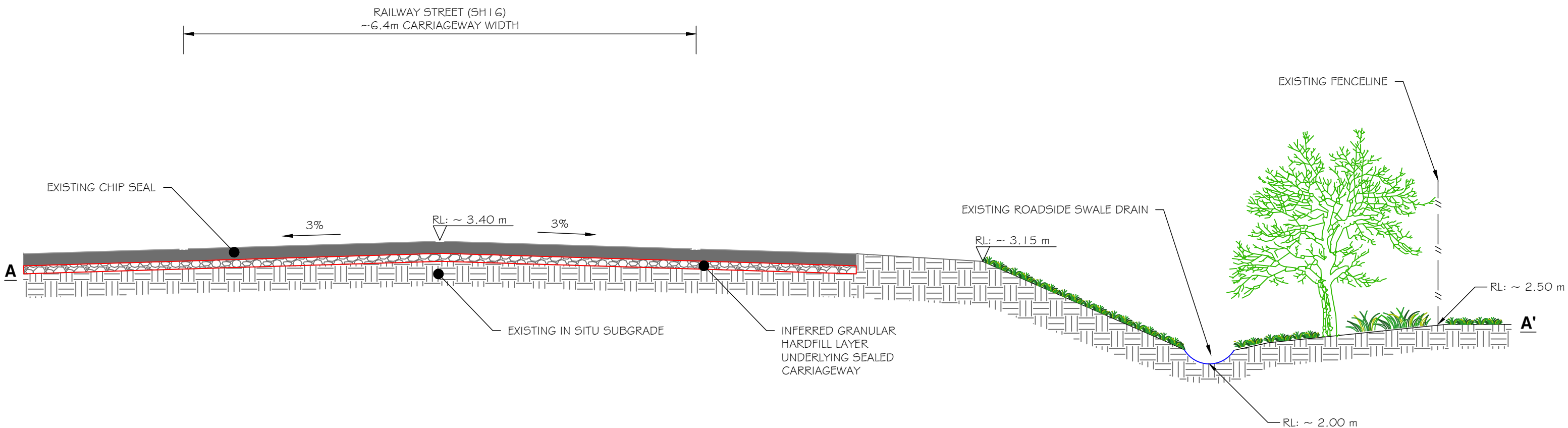
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63 RAILWAY STREET, HELENSVILLE**

Title	<b>VEHICULAR ACCESS PLAN</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-05</b>
Rev.	-



RAILWAY STREET (SH16) CROSS SECTION 'A-A'

REFER SHEET E-05 FOR SECTION REFERENCE

No.	Revision	Drawn	Chk.	Appd.	Date
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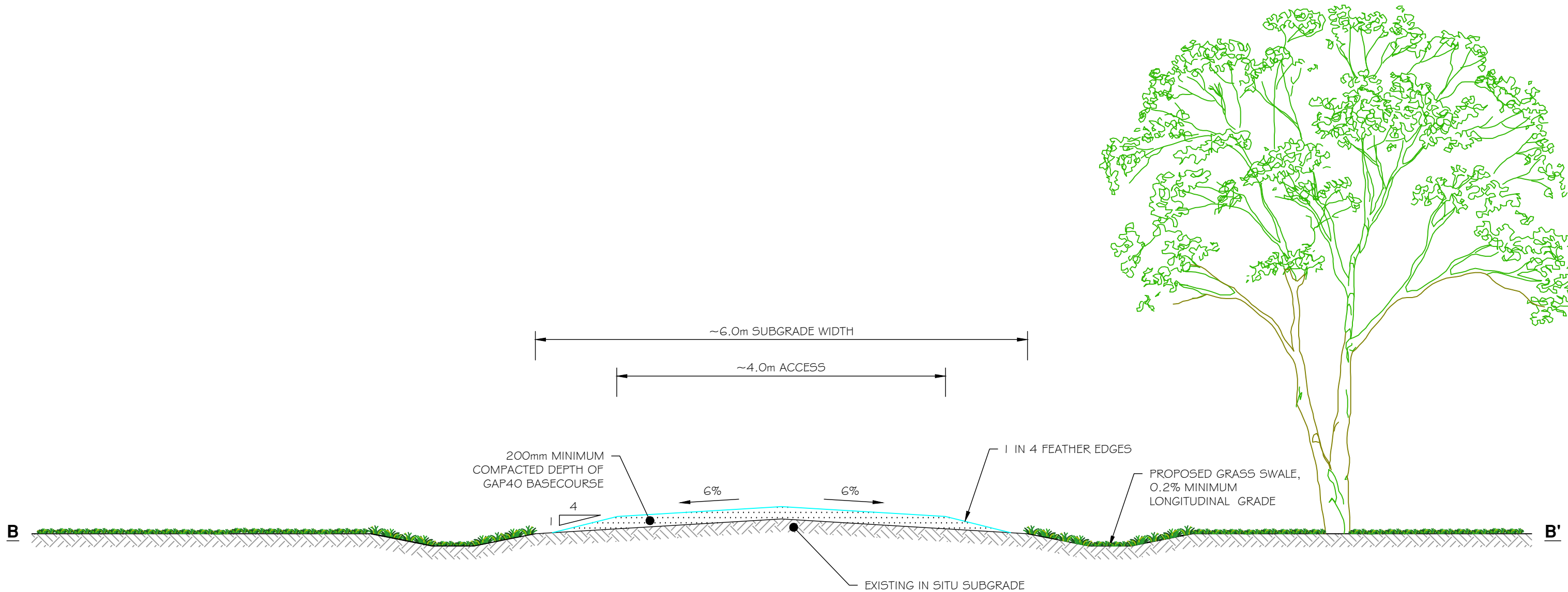
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Title	<b>RAILWAY STREET (SH16) CROSS SECTION A-A'</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-06</b>
Rev.	-



TYPICAL RESHAPED ACCESS CROSS SECTION 'B-B'

REFER SHEET E-05 FOR SECTION REFERENCE

No.	Revision	Drawn	Chk.	Appd.	Date
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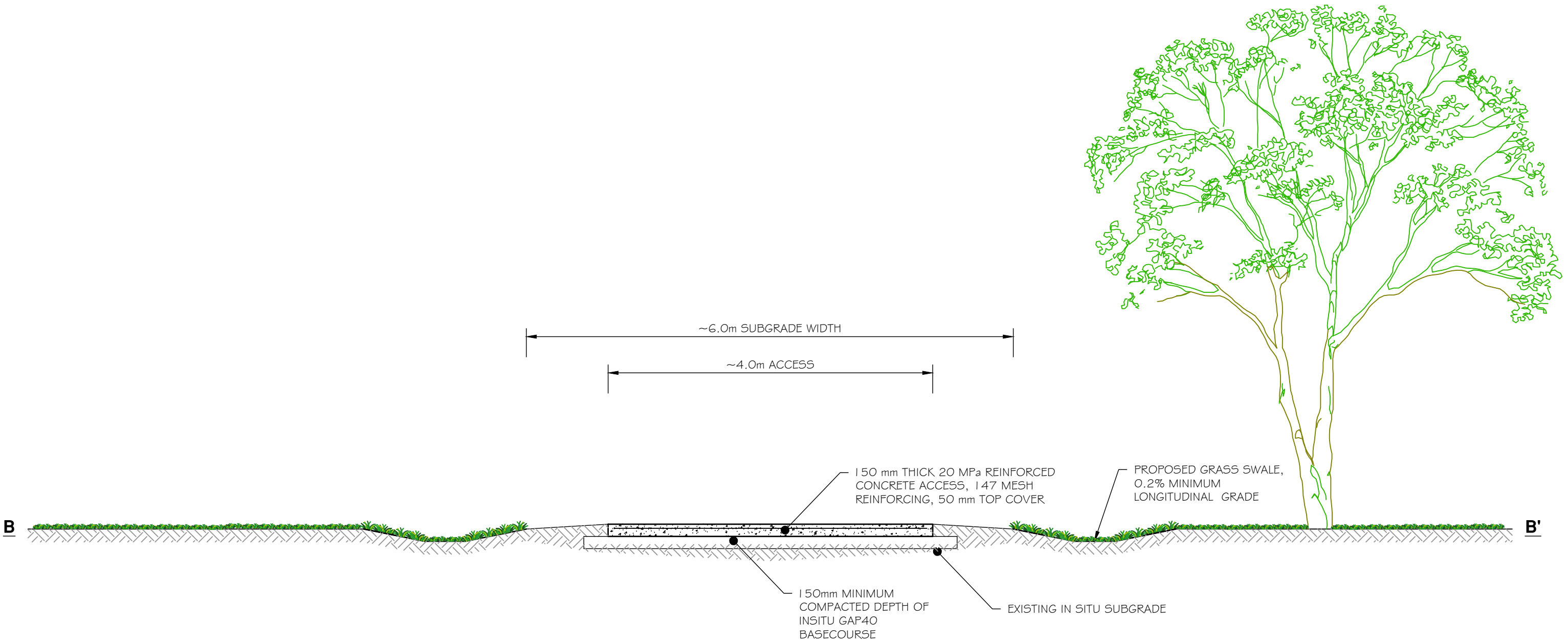
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63 RAILWAY STREET, HELENSVILLE**

Title	<b>TYPICAL RESHAPED ACCESS CROSS SECTION B-B'</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-07</b>
Rev.	-



TYPICAL CONCRETE ACCESS CROSS SECTION OPTION 'B-B'

REFER SHEET E-05 FOR SECTION REFERENCE

No.	Revision	Drawn	Chk.	Appd.	Date
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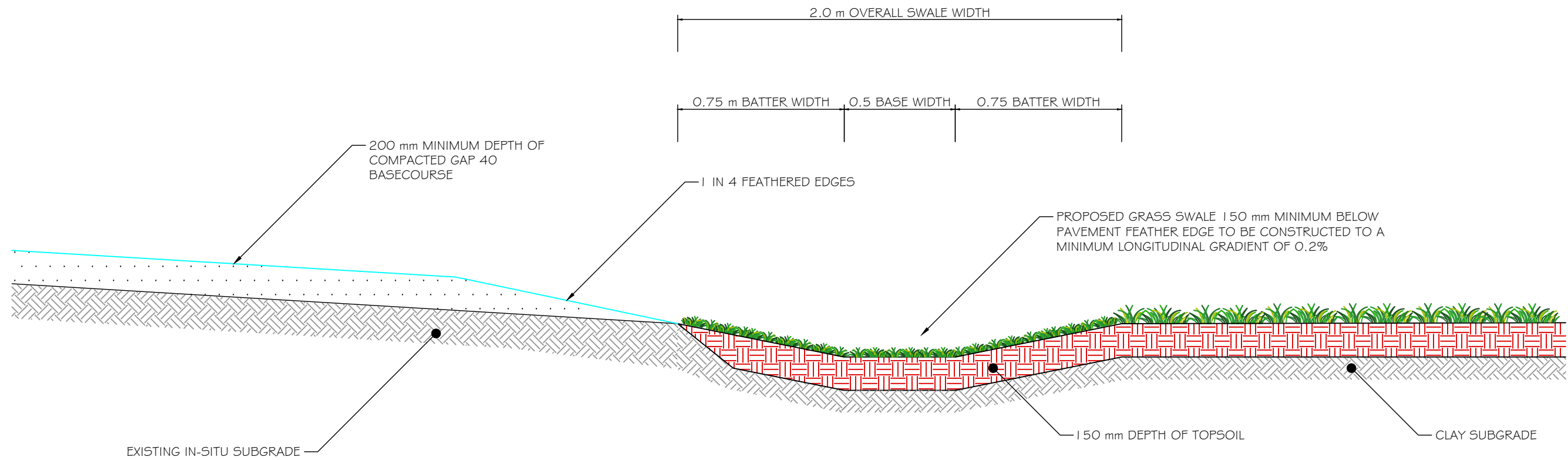
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Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>TYPICAL CONCRETE ACCESS CROSS SECTION B-B'</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-08</b>
Rev.	-

**FOR APPROVAL**  
(NOT FOR CONSTRUCTION)



GRASSED SWALE TYPICAL DETAIL

No.	Revision	Drawn	Chk.	Appd.	Date

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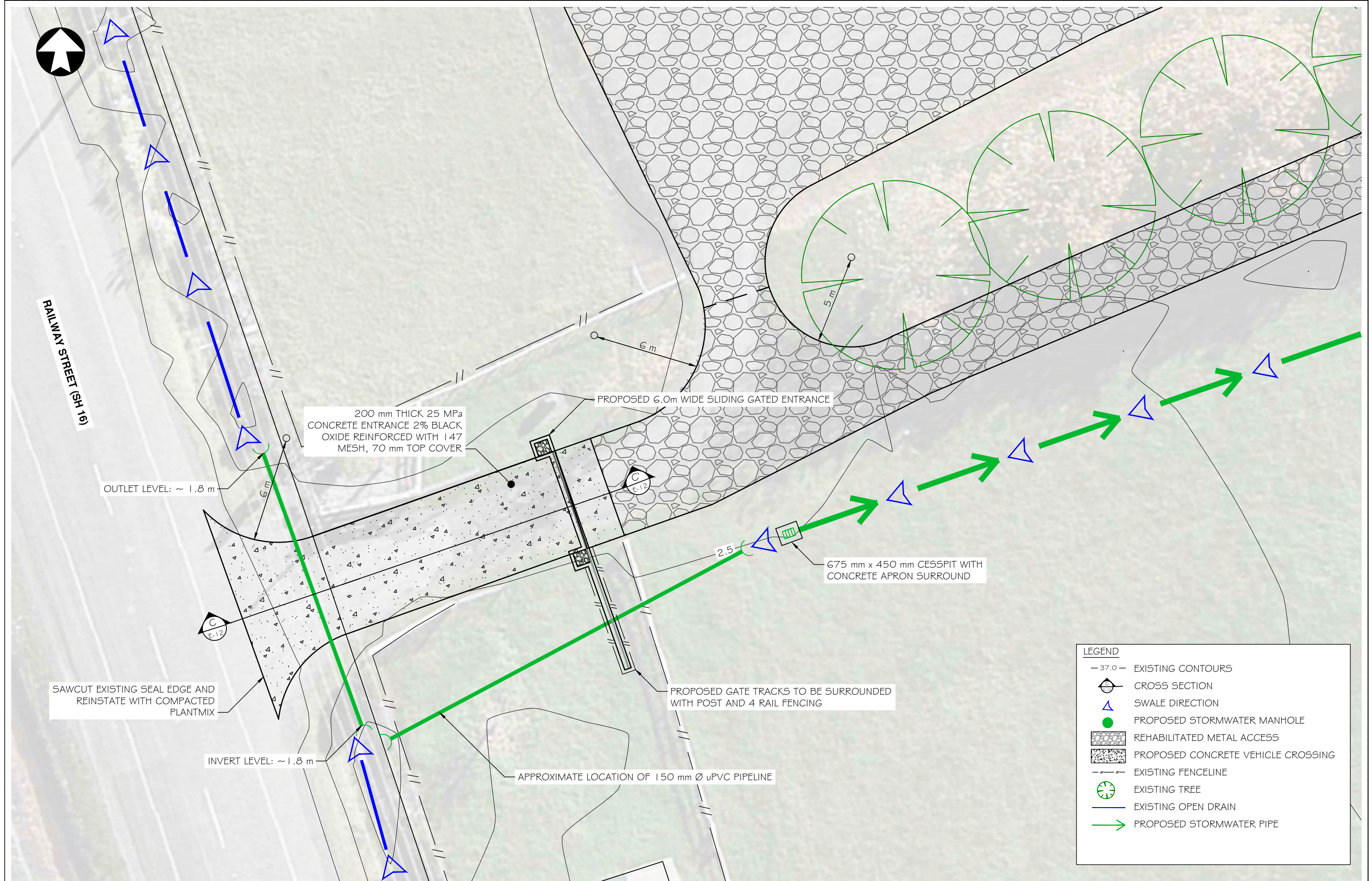
Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**GRASS SWALE TYPICAL DETAIL**

Job No.  
**A3-23985**

Sheet No.  
**E-09**

Rev.



No.	Revision	Drawn	Chk.	Appd.	Date

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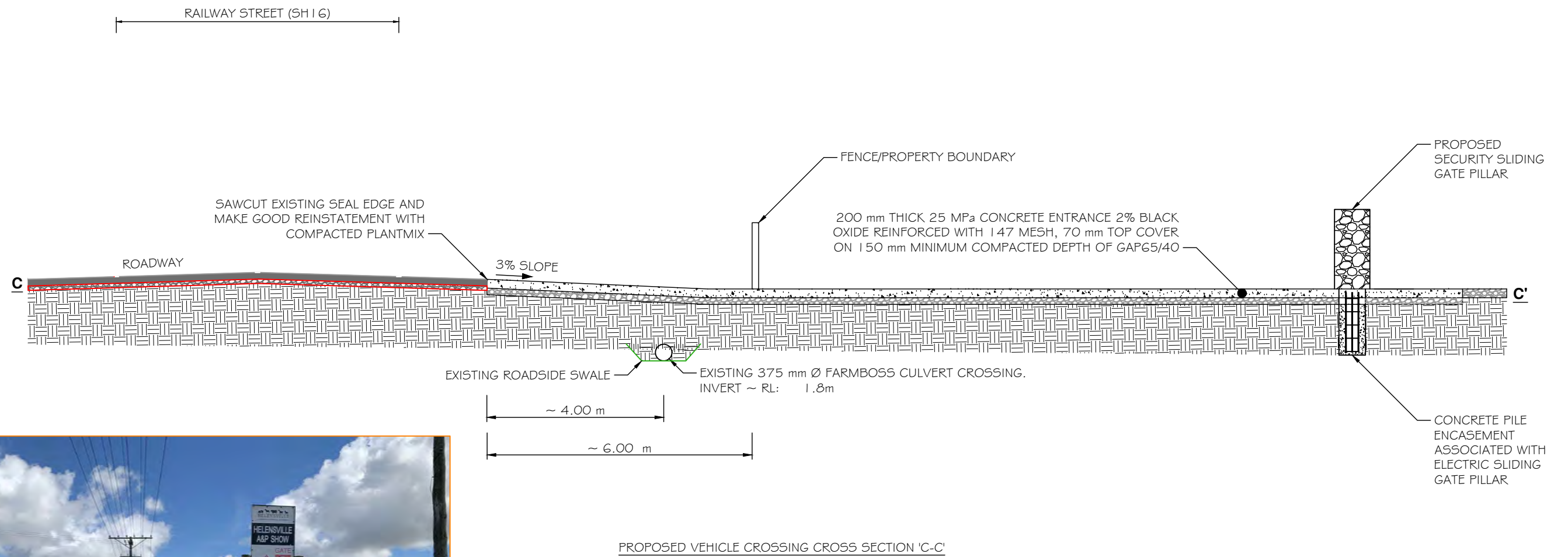
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PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>SHOWGROUNDS ACCESS PLAN</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-10</b>
Rev.	-



REFER SHEET E-05 FOR SECTION REFERENCE

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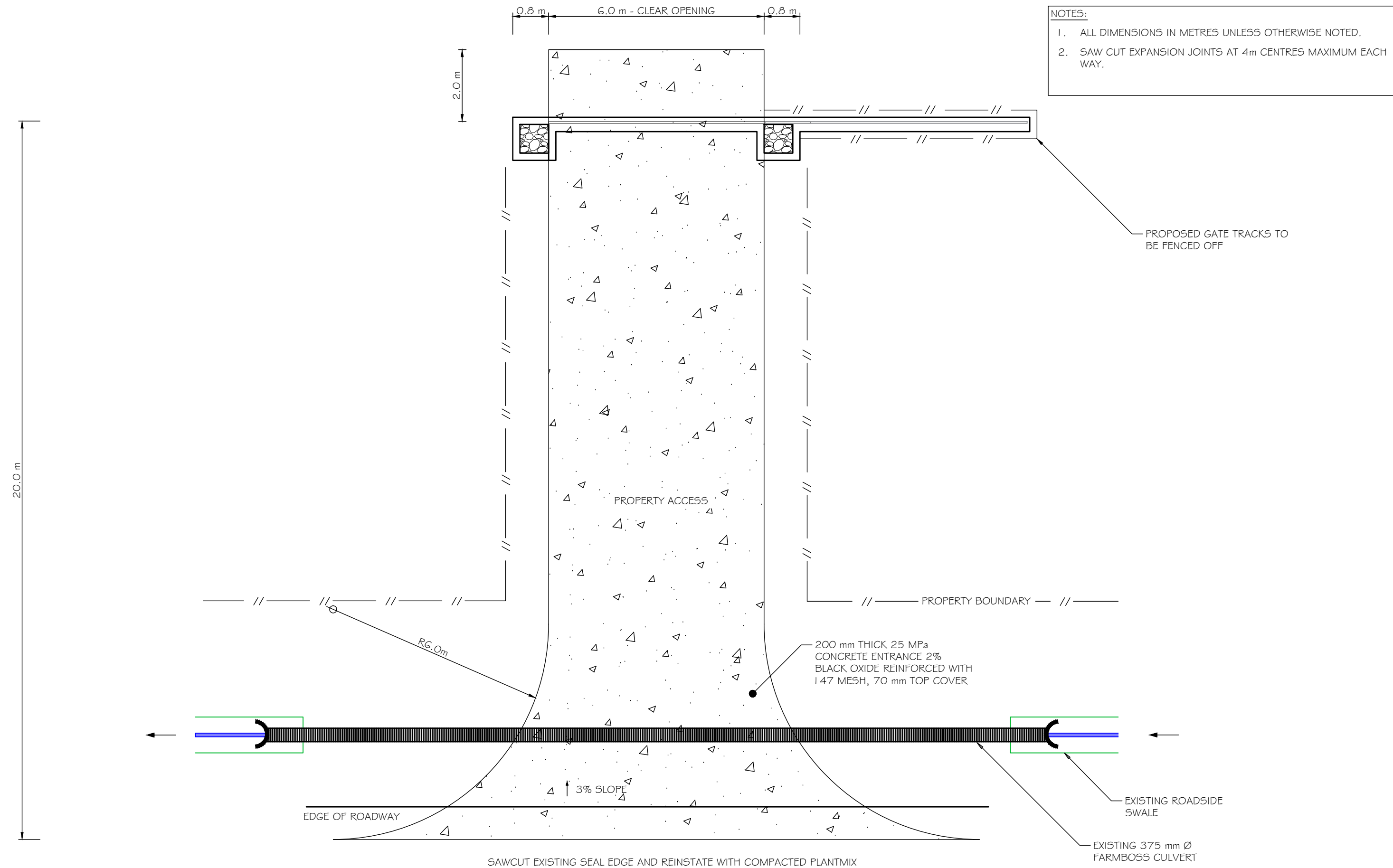
Project  
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PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**PROPOSED VEHICLE CROSSING  
CROSS SECTION C-C'**

Job No.  
**A3-23985**

Sheet No.  
**E-11**

Rev.



NOTES:  
 1. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.  
 2. SAW CUT EXPANSION JOINTS AT 4m CENTRES MAXIMUM EACH WAY.

PROPOSED GATE TRACKS TO BE FENCED OFF

200 mm THICK 25 MPa CONCRETE ENTRANCE 2% BLACK OXIDE REINFORCED WITH 147 MESH, 70 mm TOP COVER

EXISTING ROADSIDE SWALE

EXISTING 375 mm Ø FARMBOSS CULVERT

SAWCUT EXISTING SEAL EDGE AND REINSTATE WITH COMPACTED PLANTMIX

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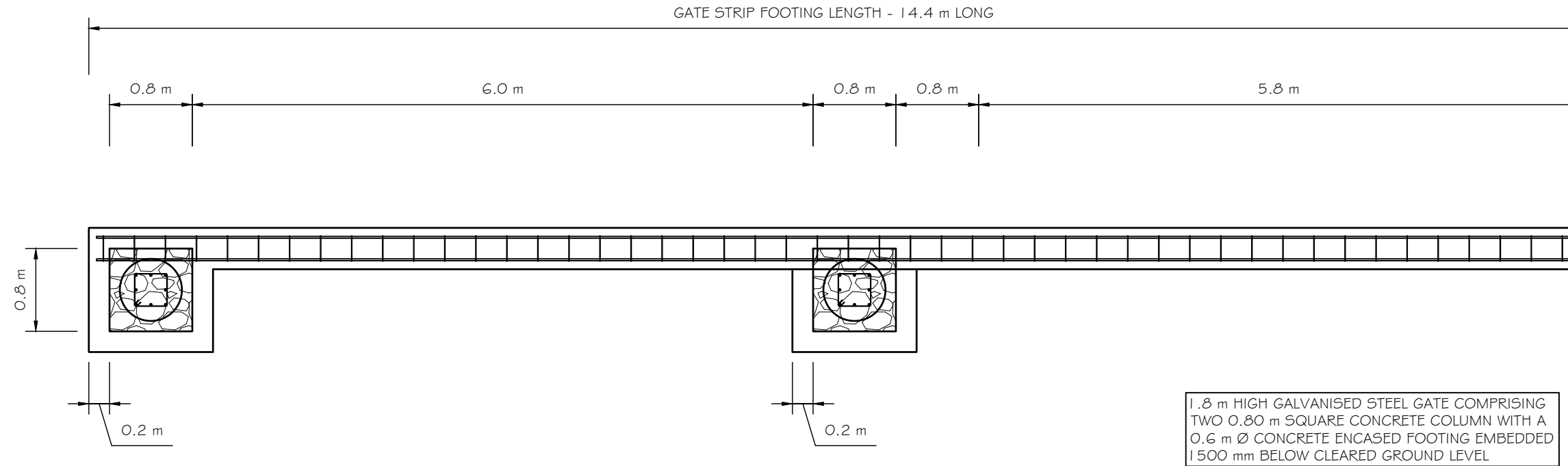
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**PROPOSED PARK IMPROVEMENTS AT**  
**HELENSVILLE A & P SHOWGROUNDS**  
**63 RAILWAY STREET, HELENSVILLE**

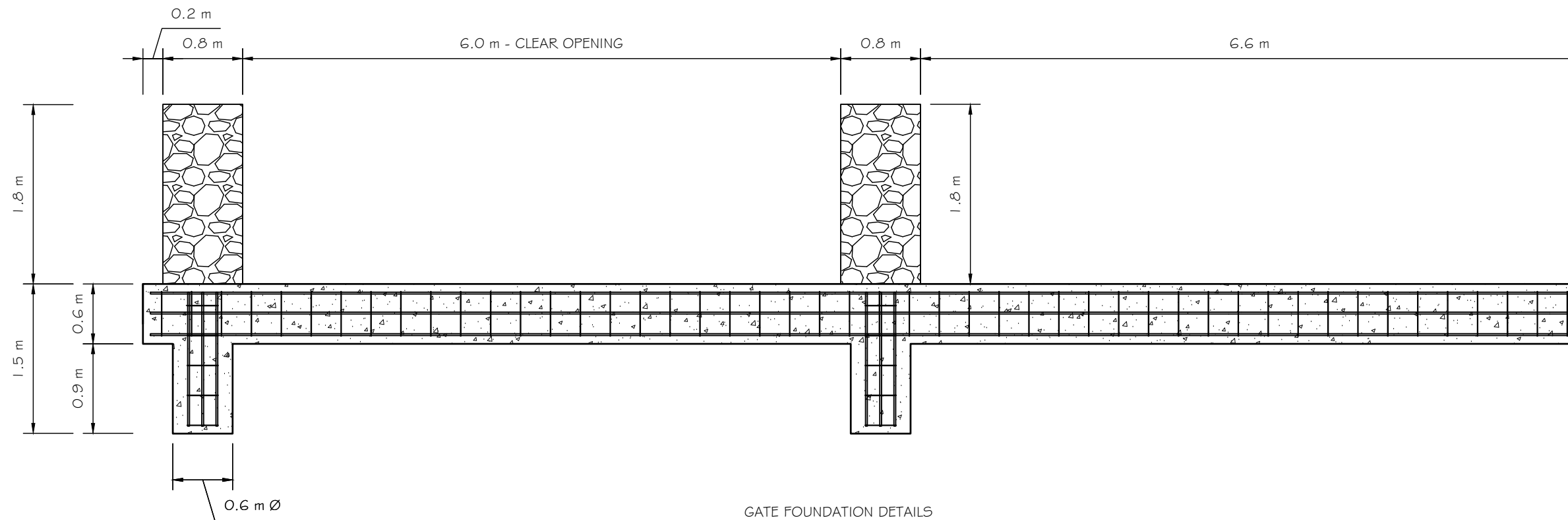
Title	<b>PROPOSED VEHICLE CROSSING</b> <b>DETAIL</b>
Job No.	<b>A3-23985</b>

Sheet No.  
**E-12**  
 Rev.





PLAN VIEW ON FOUNDATION



GATE FOUNDATION DETAILS

No.	Revision	Drawn	Chk.	Appd.	Date

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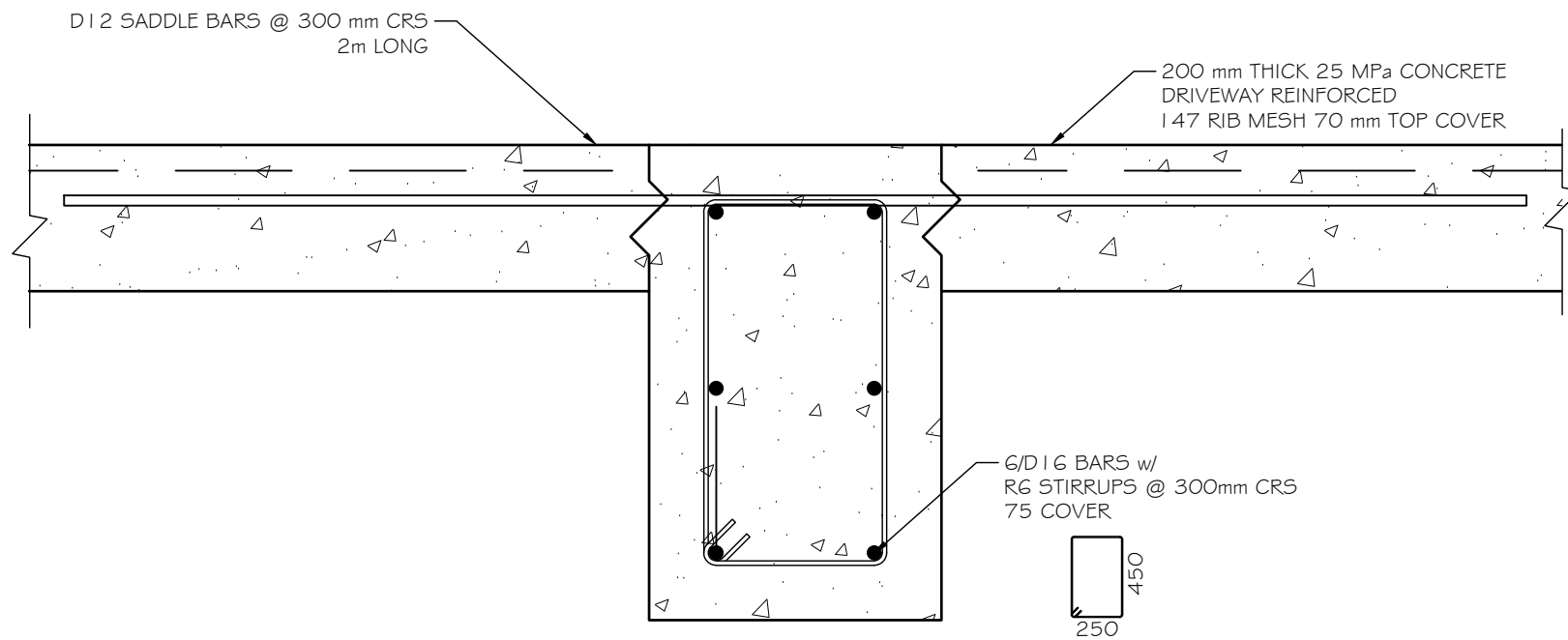
Project  
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PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**PROPOSED SLIDING GATE CROSS  
SECTION**

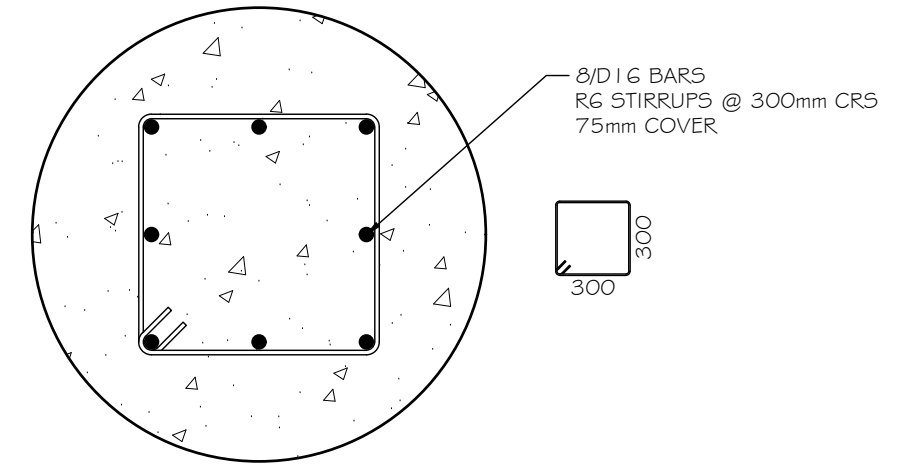
Job No.  
**A3-23985**

Sheet No.  
**E-13**

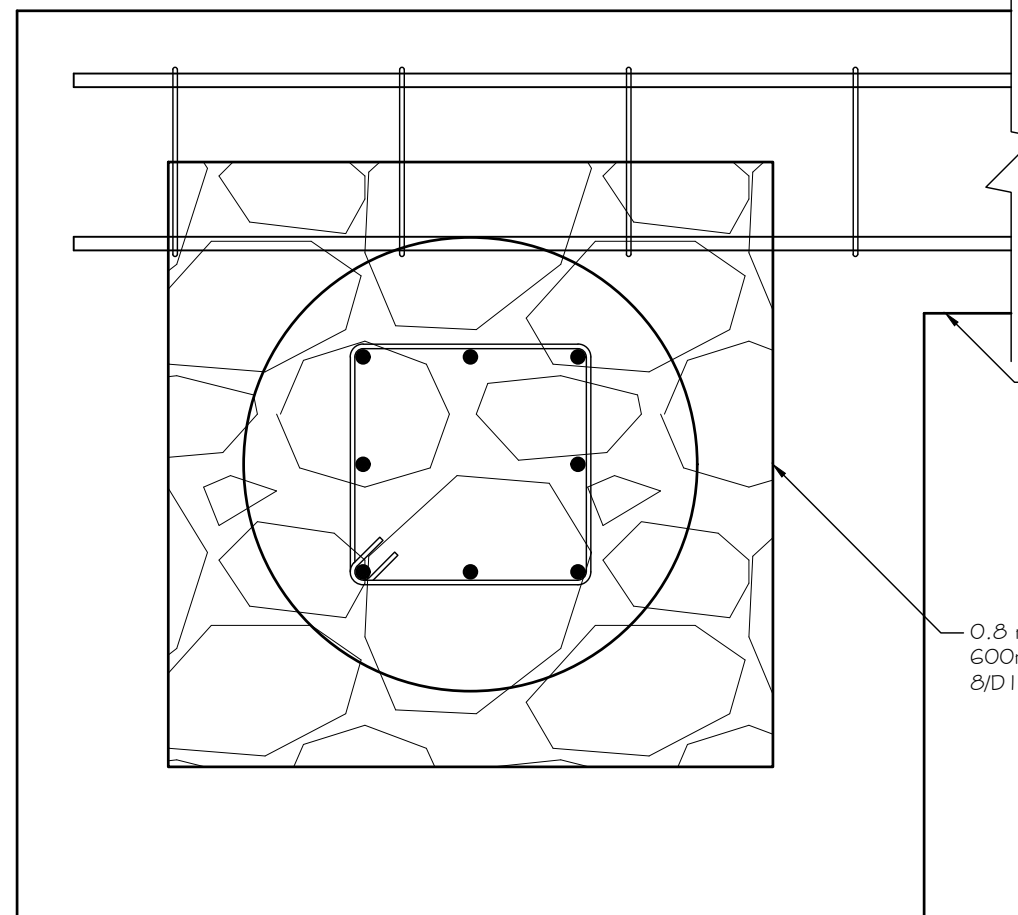
Rev.



**A-A GATE FOOTING CROSS SECTION**  
S01 SCALE 1:10



**B-B PILE CROSS SECTION**  
S01 SCALE 1:10



**C-C ENLARGED PILLAR DETAIL**  
S01 SCALE 1:10

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HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

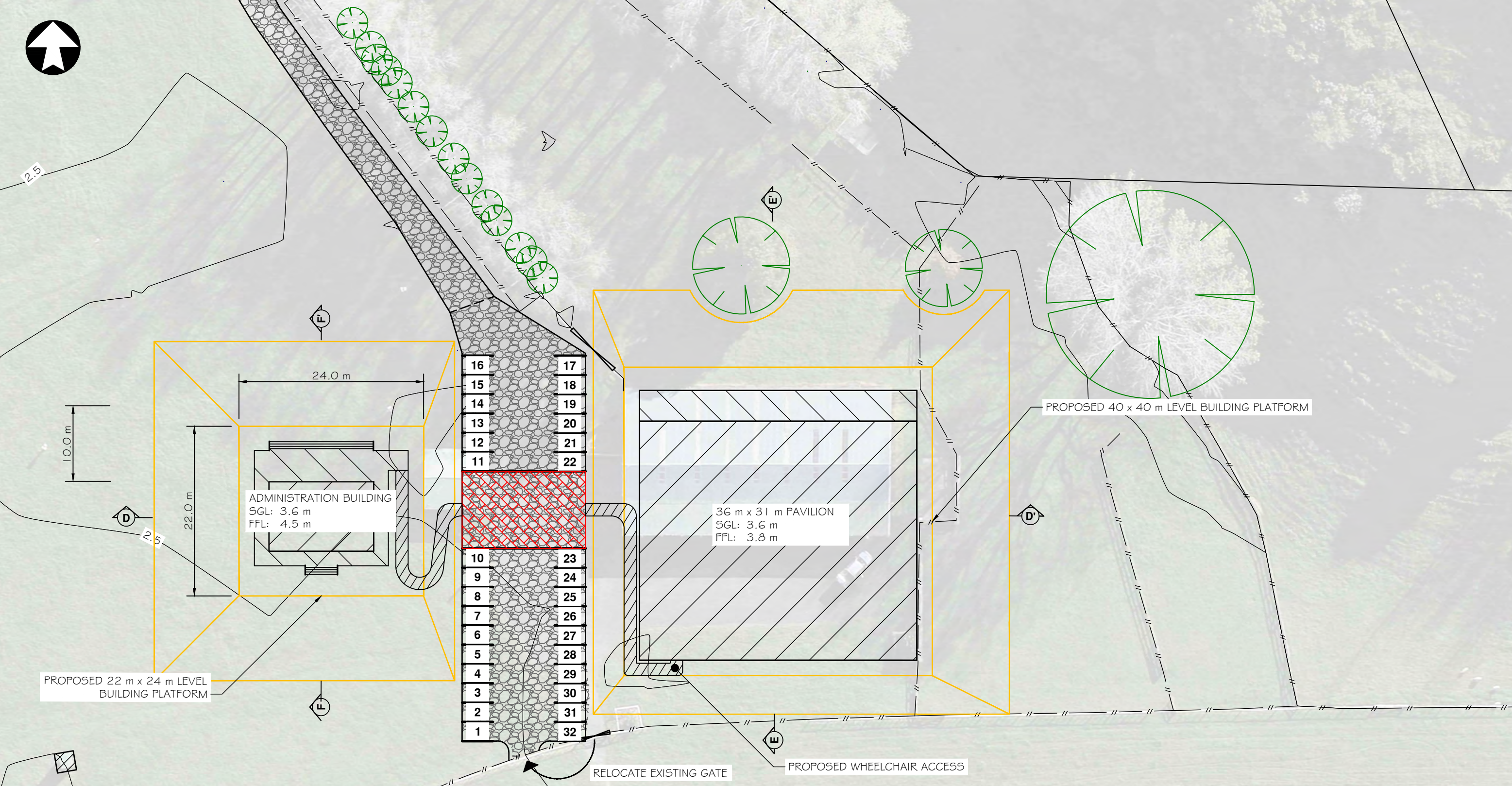
Title  
**PROPOSED ELECTRIC GATE  
FOUNDATION DETAILS**

Job No.  
**A3-23985**

Sheet No.

**E-14**

Rev.



ADMINISTRATION BUILDING  
SGL: 3.6 m  
FFL: 4.5 m

36 m x 31 m PAVILION  
SGL: 3.6 m  
FFL: 3.8 m

PROPOSED 40 x 40 m LEVEL BUILDING PLATFORM

PROPOSED 22 m x 24 m LEVEL BUILDING PLATFORM

RELOCATE EXISTING GATE

PROPOSED WHEELCHAIR ACCESS

**LEGEND**

- 37.0 - EXISTING CONTOURS
- PROPOSED METAL VEHICLE ACCESS
- - - EXISTING FENCELINE
- EXISTING TREE
- PROPOSED CARPARK SPACING
- CROSS SECTION
- PROPOSED EARTHWORK EXTENTS

	ADMIN BUILDING	MAIN HALL	CARPARK	TOTALS
AREA	2000	3000	900	5900
STRIP TOPSOIL	600	900	300	1800
COMPACTED FILL	1000	2500	400	3900



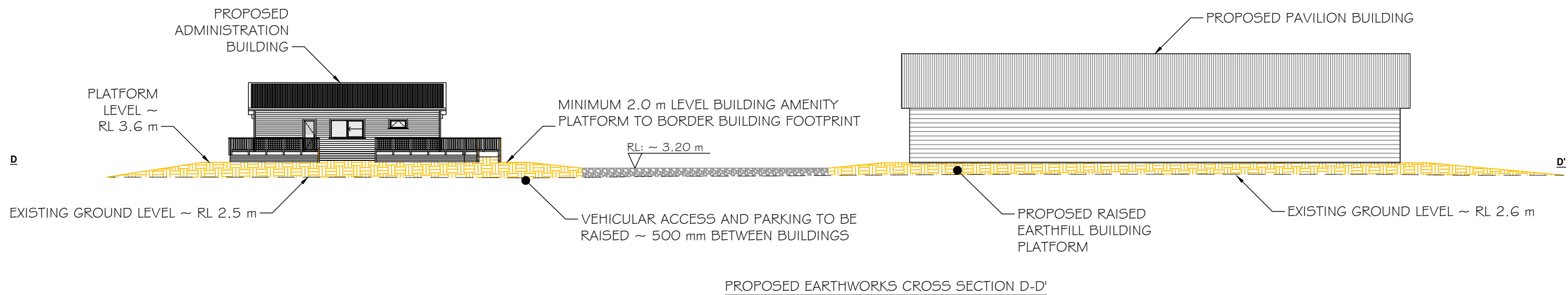
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**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>EARTHWORKS PLAN</b>	Sheet No.	<b>E-15</b>
Job No.	<b>A3-23985</b>	Rev.	-

No.	Revision	Drawn	Chk.	Appd.	Date



No.	Revision	Drawn	Chk.	Appd.	Date
-	-	-	-	-	-

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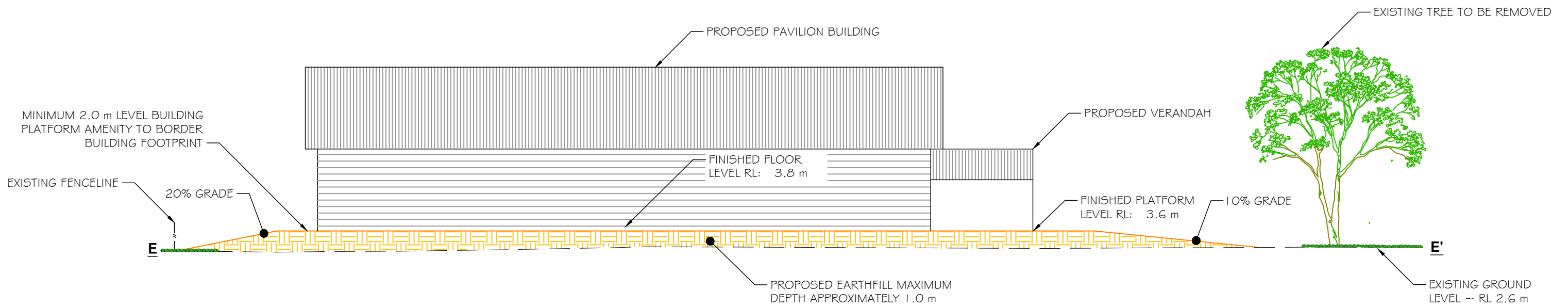
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**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>PROPOSED EARTHWORKS CROSS SECTION D-D'</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-16</b>
Rev.	-



PROPOSED EARTHWORKS CROSS SECTION E-E'

No.	Revision	Drawn	Chk.	Appd.	Date
-	-	-	-	-	-

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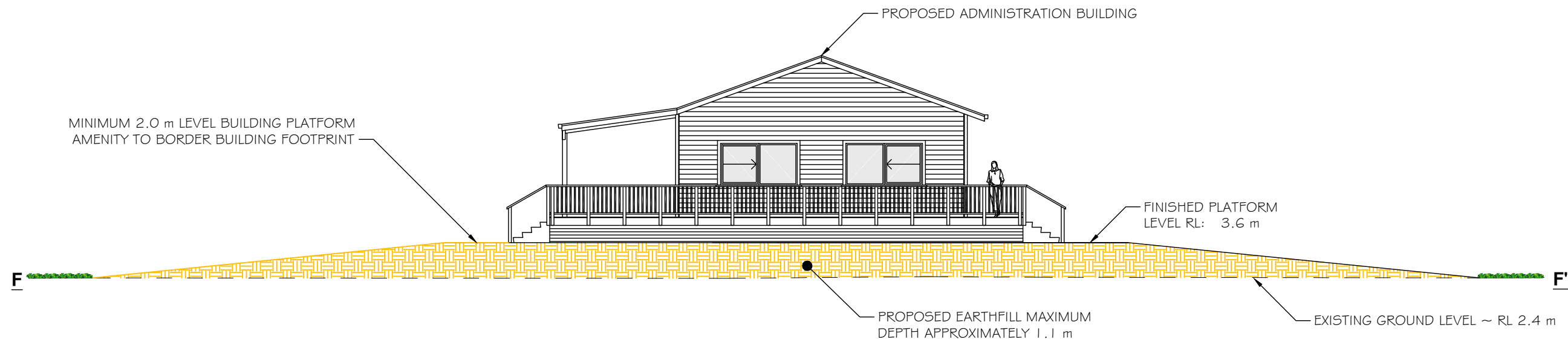
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Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>PROPOSED EARTHWORKS CROSS SECTION E-E'</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-17</b>
Rev.	-



PROPOSED EARTHWORKS CROSS SECTION F-F'

No.	Revision	Drawn	Chk.	Appd.	Date
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**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>PROPOSED EARTHWORKS CROSS SECTION F-F'</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-18</b>
Rev.	-

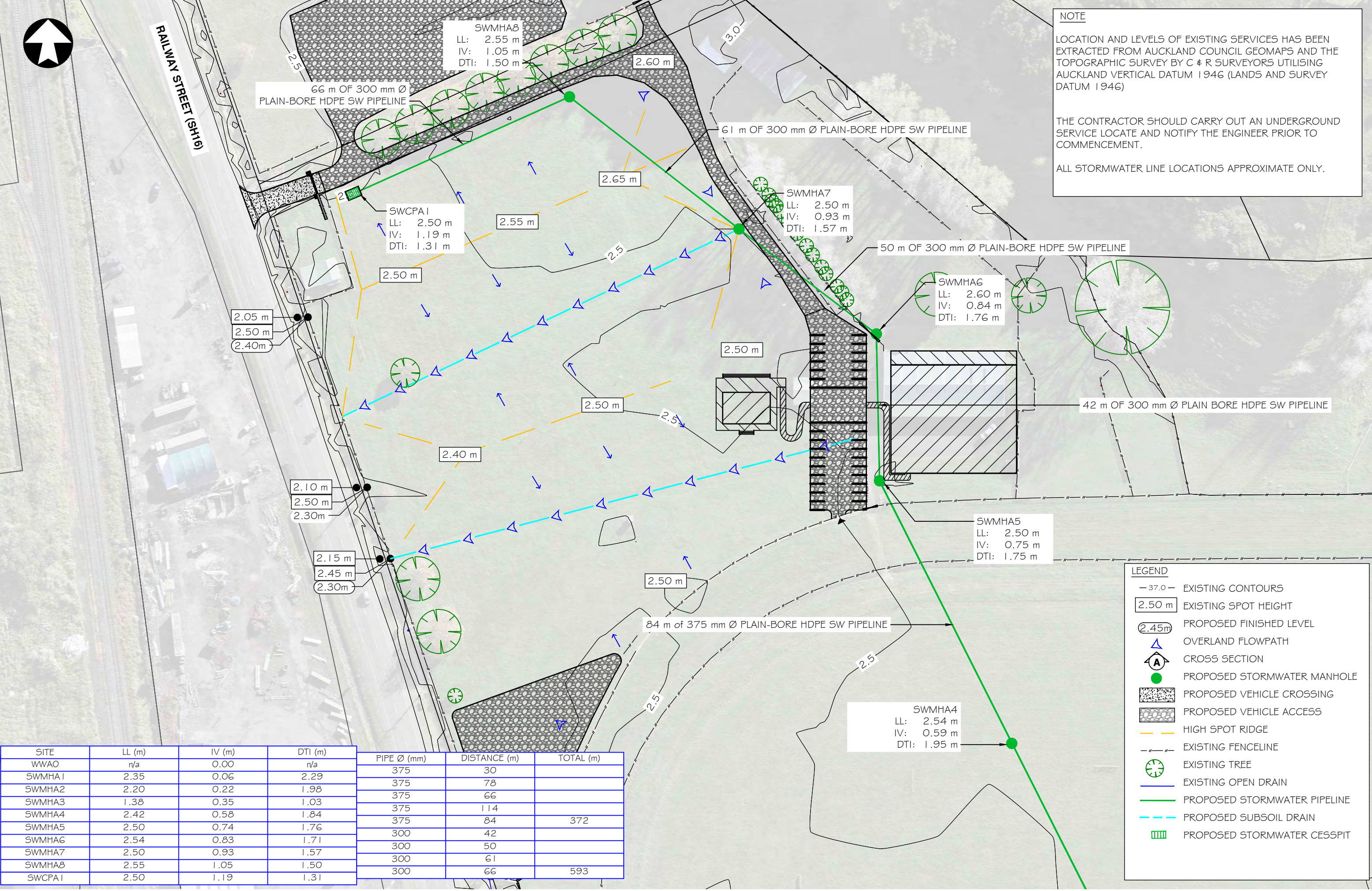


**NOTE**

LOCATION AND LEVELS OF EXISTING SERVICES HAS BEEN EXTRACTED FROM AUCKLAND COUNCIL GEOMAPS AND THE TOPOGRAPHIC SURVEY BY C & R SURVEYORS UTILISING AUCKLAND VERTICAL DATUM 1946 (LANDS AND SURVEY DATUM 1946)

THE CONTRACTOR SHOULD CARRY OUT AN UNDERGROUND SERVICE LOCATE AND NOTIFY THE ENGINEER PRIOR TO COMMENCEMENT.

ALL STORMWATER LINE LOCATIONS APPROXIMATE ONLY.



**LEGEND**

- 37.0 - EXISTING CONTOURS
- 2.50 m EXISTING SPOT HEIGHT
- 2.45m PROPOSED FINISHED LEVEL
- ▲ OVERLAND FLOWPATH
- ⊕ CROSS SECTION
- PROPOSED STORMWATER MANHOLE
- ▨ PROPOSED VEHICLE CROSSING
- ▩ PROPOSED VEHICLE ACCESS
- HIGH SPOT RIDGE
- - - EXISTING FENCELINE
- ⊗ EXISTING TREE
- EXISTING OPEN DRAIN
- PROPOSED STORMWATER PIPELINE
- - - PROPOSED SUBSOIL DRAIN
- ▭ PROPOSED STORMWATER CESSPIT

SITE	LL (m)	IV (m)	DTI (m)
WWAO	n/a	0.00	n/a
SWMHA1	2.35	0.06	2.29
SWMHA2	2.20	0.22	1.98
SWMHA3	1.38	0.35	1.03
SWMHA4	2.42	0.58	1.84
SWMHA5	2.50	0.74	1.76
SWMHA6	2.54	0.83	1.71
SWMHA7	2.50	0.93	1.57
SWMHA8	2.55	1.05	1.50
SWCPA1	2.50	1.19	1.31

PIPE Ø (mm)	DISTANCE (m)	TOTAL (m)
375	30	
375	78	
375	66	
375	114	
375	84	372
300	42	
300	50	
300	61	
300	66	593

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Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**STORMWATER LAYOUT  
(SHOWGROUNDS)**

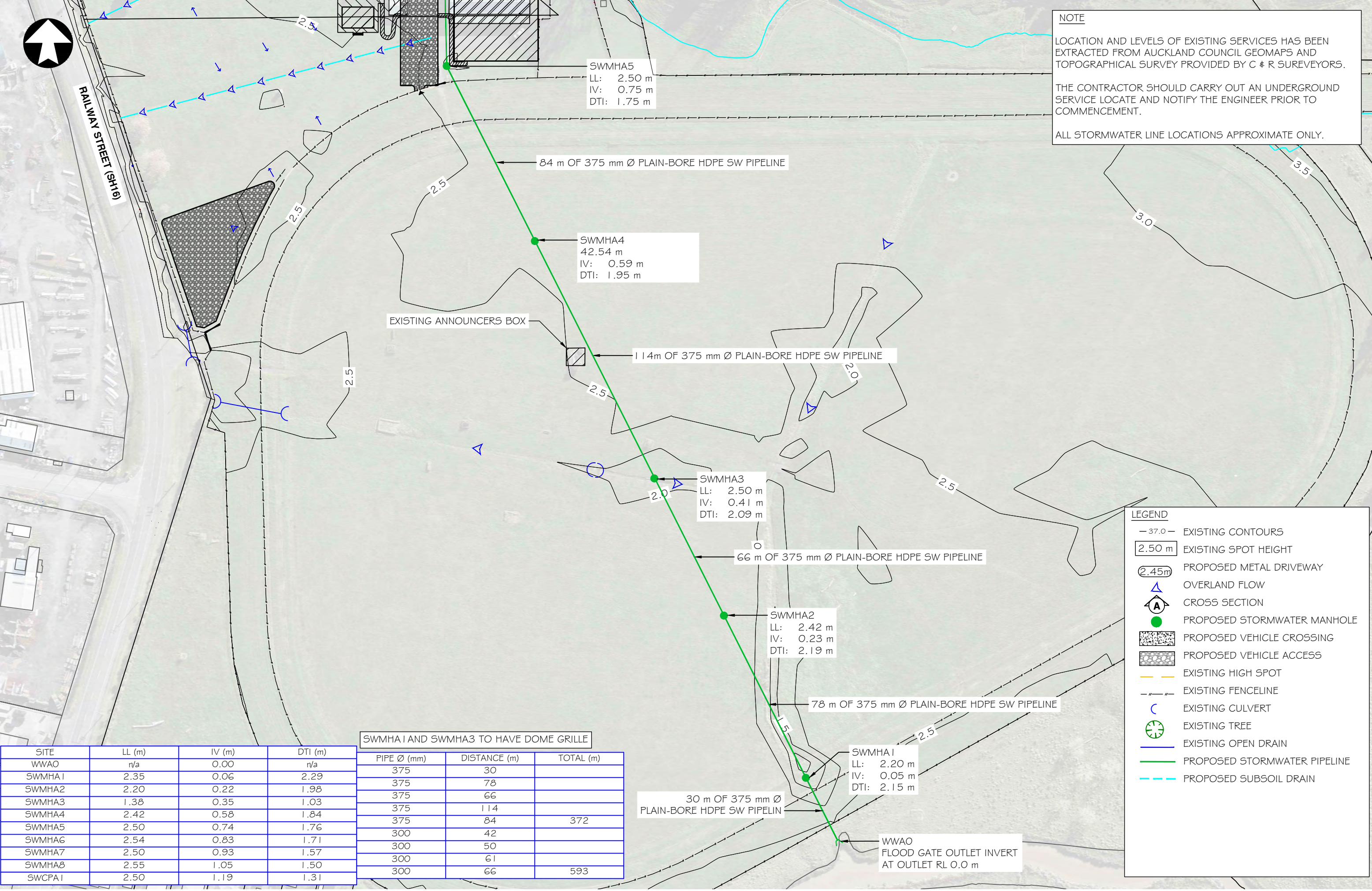
Job No. **A3-23985**

Sheet No.  
**E-19**

Rev. **-**



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 THE CONTRACTOR SHOULD CARRY OUT AN UNDERGROUND SERVICE LOCATE AND NOTIFY THE ENGINEER PRIOR TO COMMENCEMENT.  
 ALL STORMWATER LINE LOCATIONS APPROXIMATE ONLY.



**LEGEND**

- 37.0 — EXISTING CONTOURS
- 2.50 m EXISTING SPOT HEIGHT
- 2.45m PROPOSED METAL DRIVEWAY
- ▲ OVERLAND FLOW
- ⊕ CROSS SECTION
- PROPOSED STORMWATER MANHOLE
- ▨ PROPOSED VEHICLE CROSSING
- ▩ PROPOSED VEHICLE ACCESS
- — — EXISTING HIGH SPOT
- - - EXISTING FENCELINE
- ⊔ EXISTING CULVERT
- ⊕ EXISTING TREE
- — — EXISTING OPEN DRAIN
- — — PROPOSED STORMWATER PIPELINE
- - - PROPOSED SUBSOIL DRAIN

SWMHA1 AND SWMHA3 TO HAVE DOME GRILLE

SITE	LL (m)	IV (m)	DTI (m)
WVAO	n/a	0.00	n/a
SWMHA1	2.35	0.06	2.29
SWMHA2	2.20	0.22	1.98
SWMHA3	1.38	0.35	1.03
SWMHA4	2.42	0.58	1.84
SWMHA5	2.50	0.74	1.76
SWMHA6	2.54	0.83	1.71
SWMHA7	2.50	0.93	1.57
SWMHA8	2.55	1.05	1.50
SWCPA1	2.50	1.19	1.31

PIPE Ø (mm)	DISTANCE (m)	TOTAL (m)
375	30	
375	78	
375	66	
375	114	
375	84	372
300	42	
300	50	
300	61	
300	66	593

No.	Revision	Drawn	Chk.	Appd.	Date

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 PROPOSED PARK IMPROVEMENTS AT  
 HELENSVILLE A & P SHOWGROUNDS  
 63 RAILWAY STREET, HELENSVILLE**

Title  
**STORMWATER SITEPLAN  
 (SHOWGROUNDS)**

Job No. **A3-23985**

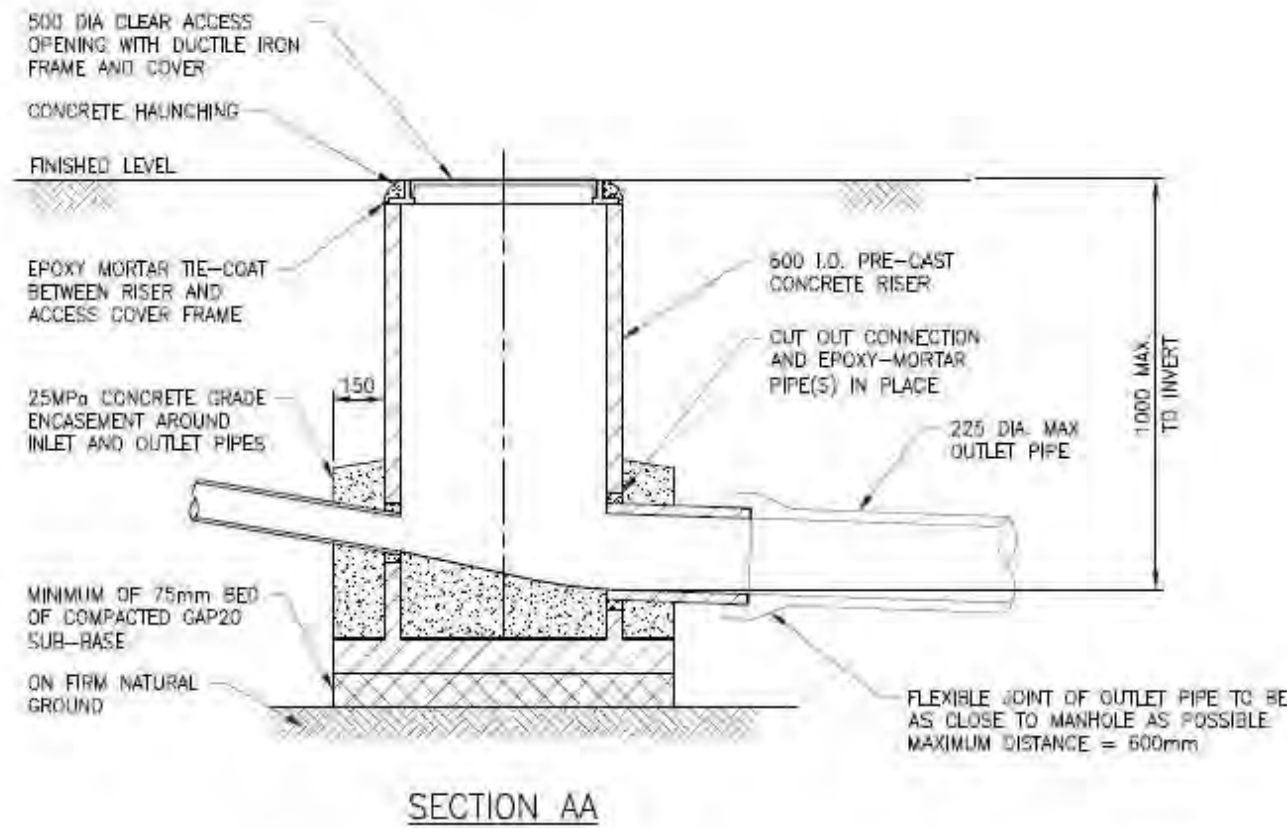
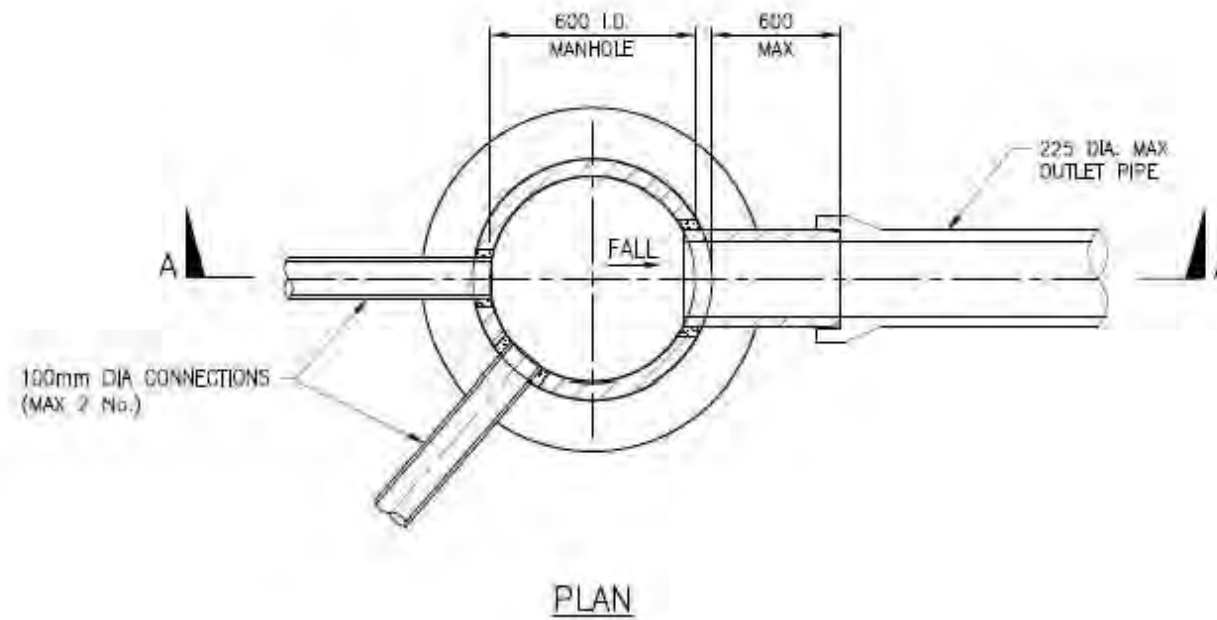
Sheet No.  
**E-20**

Rev. **-**



**NOTES:**

1. NON-ACCESS CHAMBER, SUITABLE FOR OUTLET INVERT DEPTH OF LESS THAN 1000mm.
2. MAXIMUM OUTLET PIPE DIAMETER SHALL BE 225mm.
3. MAXIMUM NUMBER OF CONNECTIONS SHALL BE TWO 100mm DIA INLET CONNECTIONS PER NON-ACCESS CHAMBER. ADDITIONAL CONNECTIONS MAY BE ALLOWED WITH APPROVAL FROM AUCKLAND COUNCIL.
4. BENCHING WITHIN NON-ACCESS CHAMBERS IS NOT MANDATORY.



STORMWATER CODE OF PRACTICE  
STANDARD DETAILS  
REVISION: 2  
REV DATE: 1 NOVEMBER 2015  
CAD FILENAME: AC-STD-SW06.DWG

**AUCKLAND COUNCIL**

**STORMWATER MANHOLES – NON-ACCESS CHAMBER**  
TYPICAL DETAIL (OUTLET INVERT DEPTH LESS THAN 1000mm)

ENVIRONMENTAL-SW	ORIGINAL SCALE SCALE: N.T.S.	A3
	DRAWING SET	SHEET
	SWCoP	1 OF 1
DRAWING No.	REV	
SW06	2	

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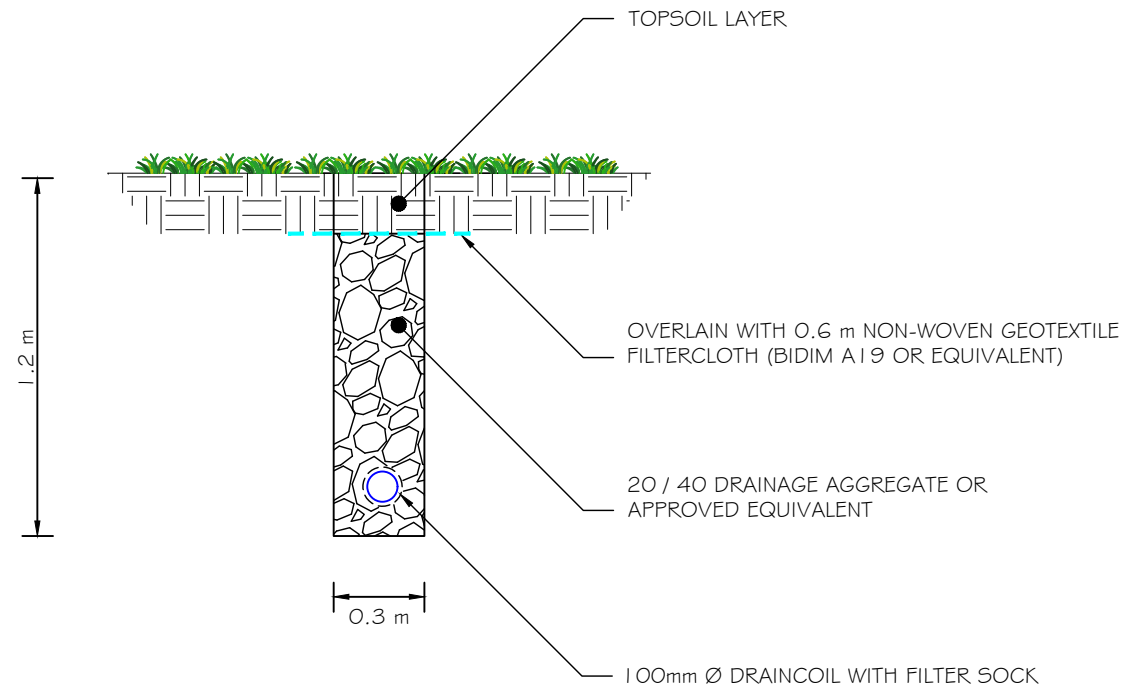
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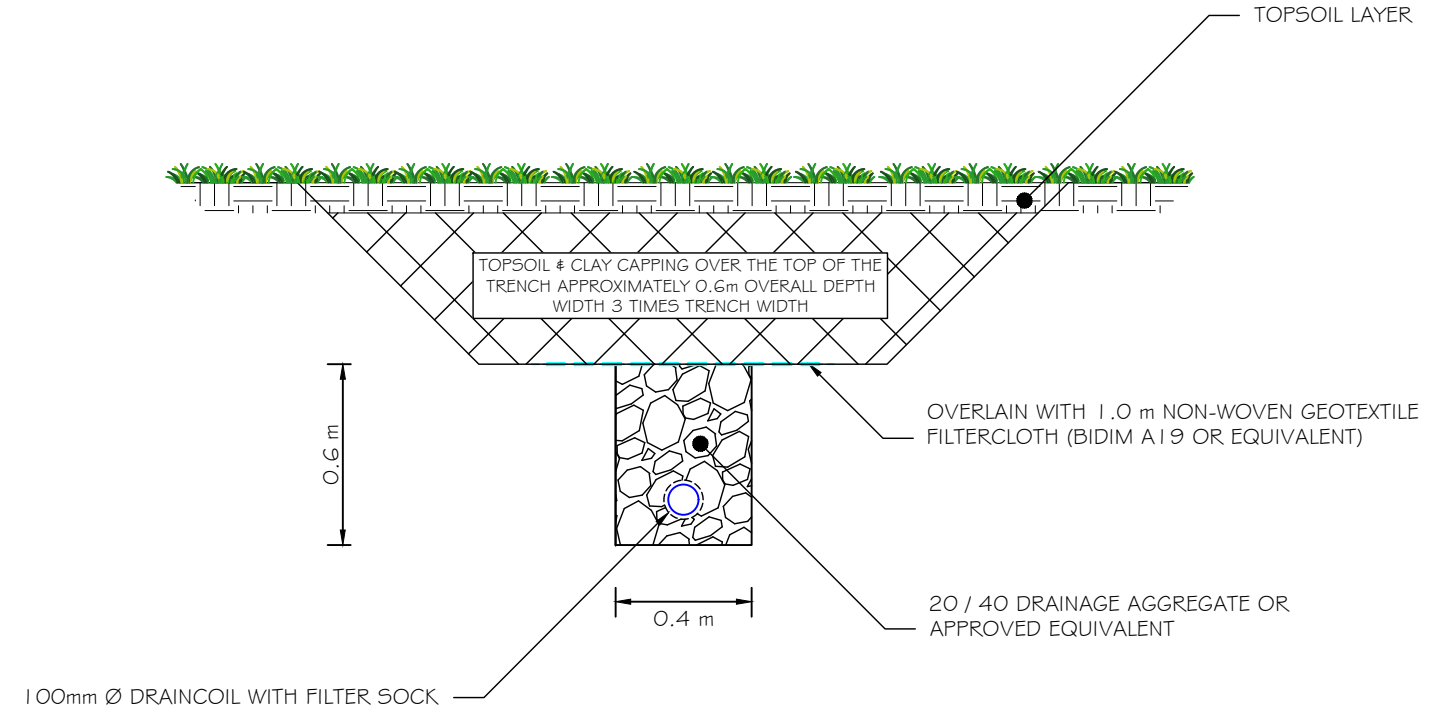
Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>STORMWATER CHAMBER TYPICAL DETAIL</b>	Sheet No.	<b>E-21</b>
Job No.	<b>A3-23985</b>	Rev.	-

No.	Revision	Drawn	Chk.	Appd.	Date



**UNDERFILL DRAIN DETAIL**



**SUBSOIL DRAIN DETAIL**

No.	Revision	Drawn	Chk.	Appd.	Date

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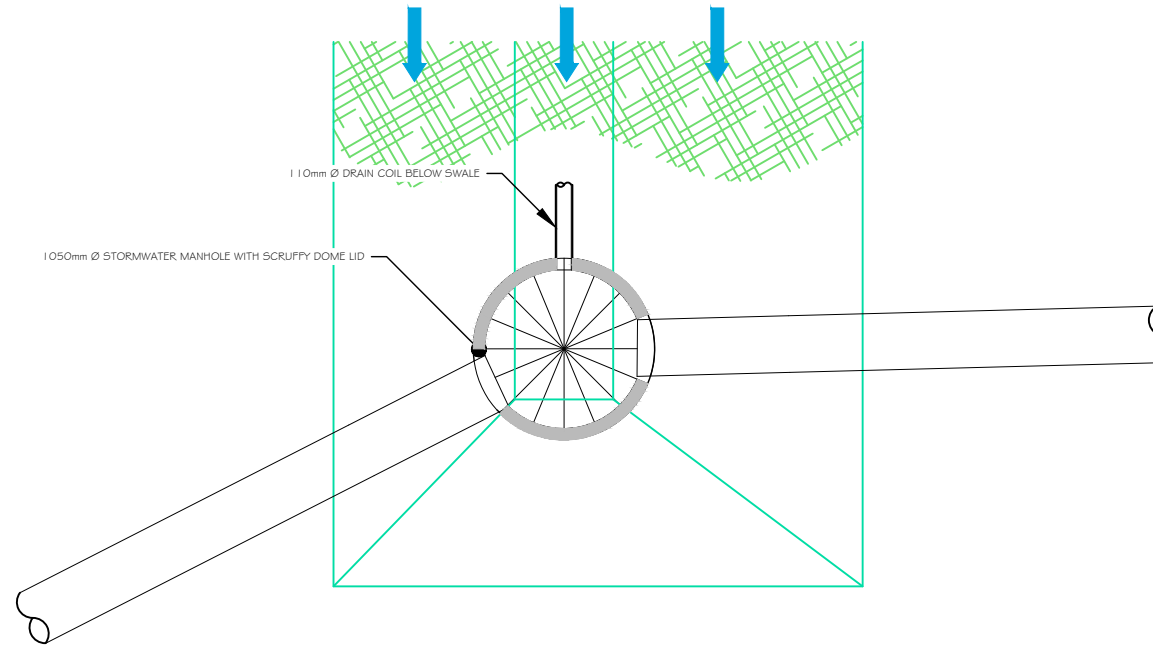
**Auckland Council**  
Te Kaunihera o Tāmaki Makaurau

Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

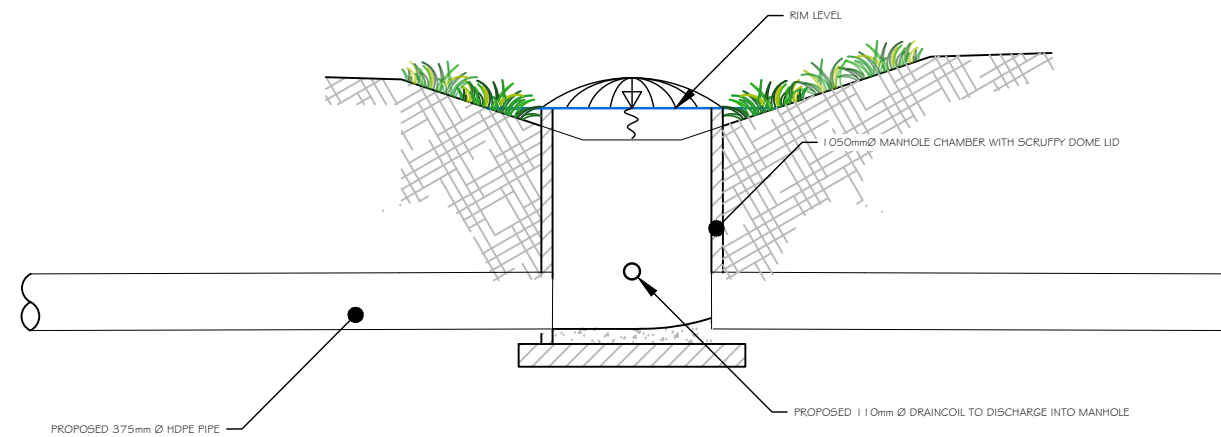
Title	<b>STORMWATER TYPICAL DETAILS</b>
Job No.	<b>A3-23985</b>

Sheet No.  
**E-22**

Rev.



**OUTLET MANHOLE PLAN VIEW**



**SCRUFFY DOME GRILLE DETAIL**

No.	Revision	Drawn	Chk.	Appd.	Date

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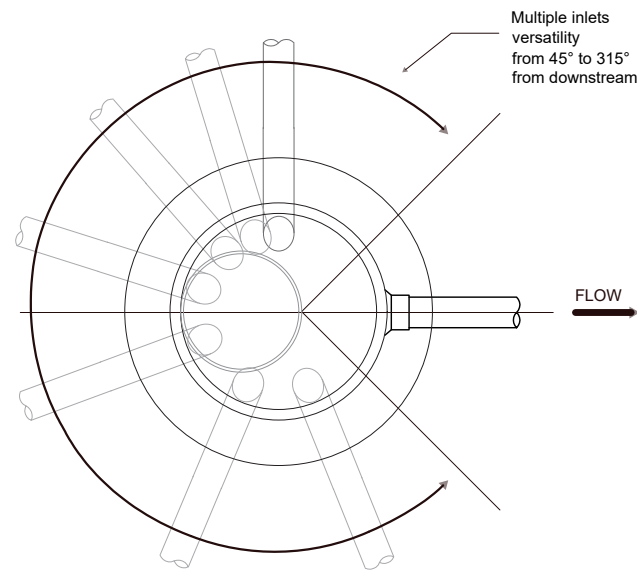
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**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**STORMWATER TYPICAL DETAILS**

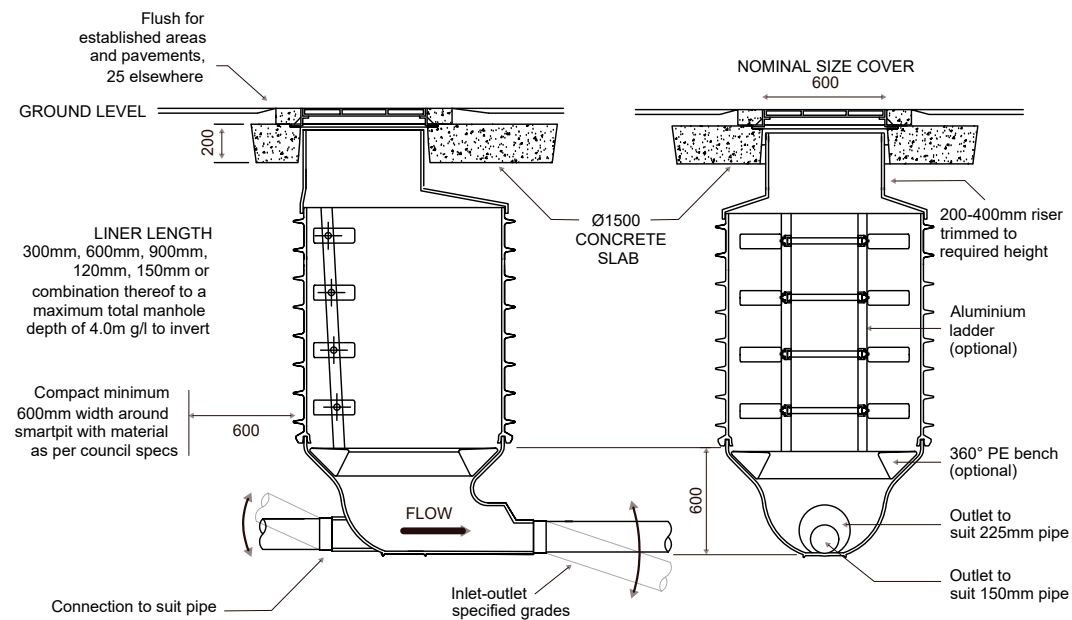
Job No.  
**A3-23985**

Sheet No.  
**E-23**

Rev.



**PLAN VIEW SECTION**



**SIDE VIEW SECTION**

**FRONT VIEW SECTION**

No.	Revision	Drawn	Chk.	Appd.	Date

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Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**PROPOSED 1050 SMART PIT  
POLYETHYLENE MANHOLE DETAIL**

Job No. **A3-23985**

Sheet No.  
**E-24**

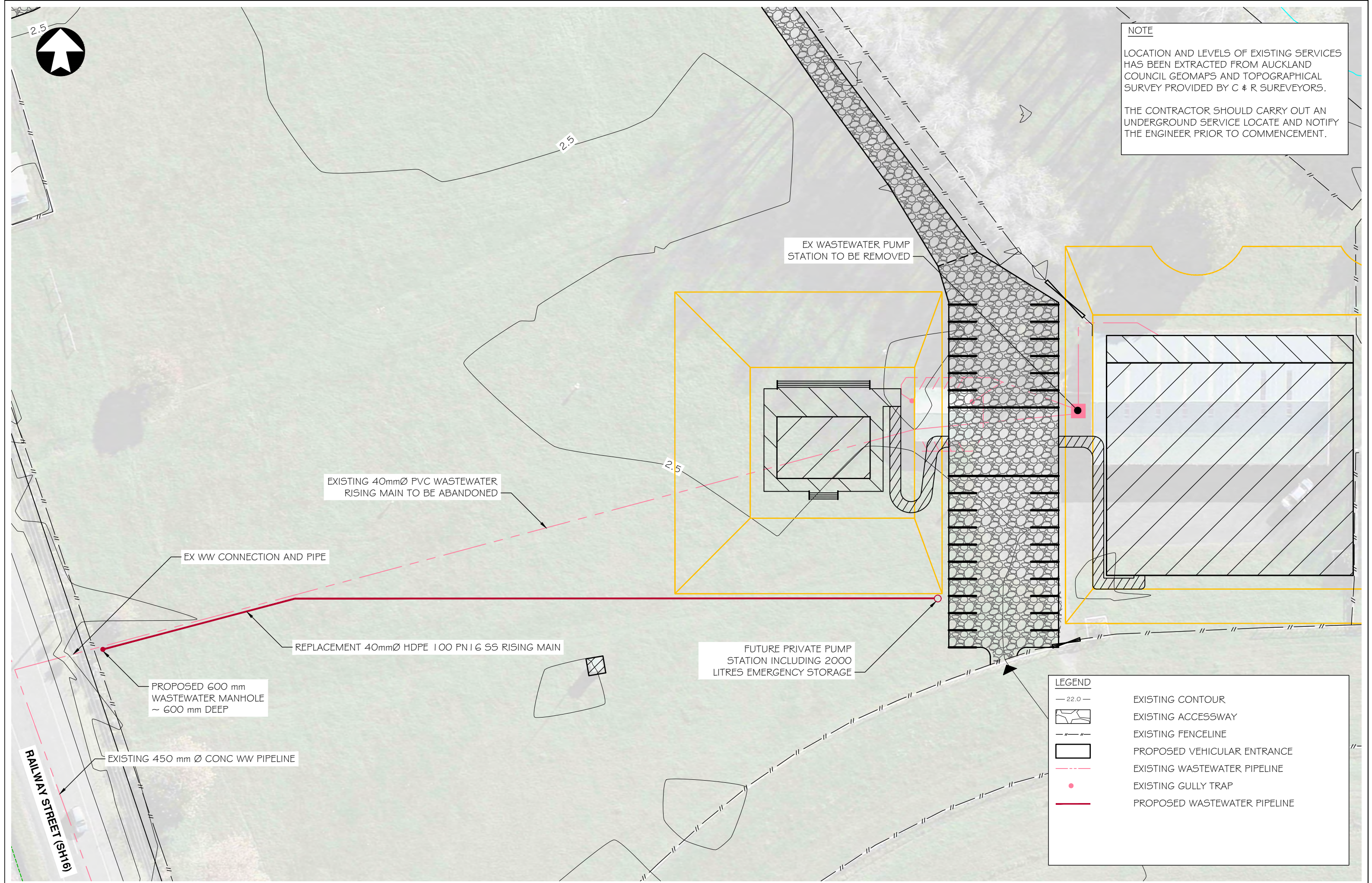
Rev.



**NOTE**

LOCATION AND LEVELS OF EXISTING SERVICES HAS BEEN EXTRACTED FROM AUCKLAND COUNCIL GEOMAPS AND TOPOGRAPHICAL SURVEY PROVIDED BY C & R SUREVEYORS.

THE CONTRACTOR SHOULD CARRY OUT AN UNDERGROUND SERVICE LOCATE AND NOTIFY THE ENGINEER PRIOR TO COMMENCEMENT.



**LEGEND**

- 22.0- EXISTING CONTOUR
- EXISTING ACCESSWAY
- EXISTING FENCELINE
- PROPOSED VEHICULAR ENTRANCE
- EXISTING WASTEWATER PIPELINE
- EXISTING GULLY TRAP
- PROPOSED WASTEWATER PIPELINE

No.	Revision	Drawn	Chk.	Appd.	Date

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**Auckland Council**  
Te Kaunihera o Tāmaki Makaurau

Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

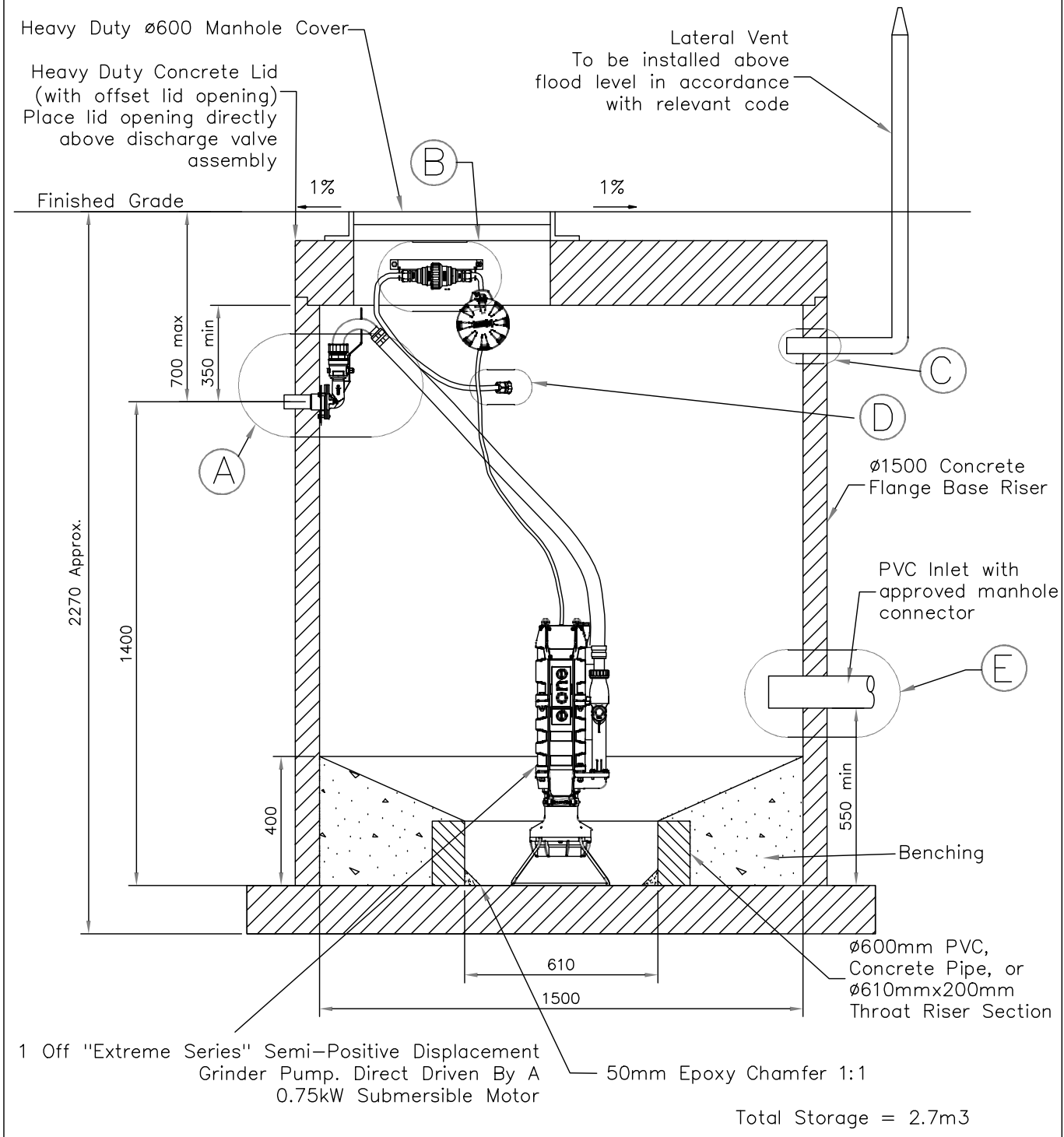
Title  
**WASTEWATER PLAN**

Job No. **A3-23985**

Sheet No.  
**E-25**

Rev. **-**

# Simplex MODEL 1500MH 1500 x 1800mm



	<b>Ecoflow Ltd.</b> 16b Piemark Drive, North Harbour (NZ) P.O Box 300-249, Albany, Auckland Ph (09)447-1793 Fax (09) 447-3901	<b>Environment One</b> <b>Trafficable Simplex</b> <b>1500x1800</b>
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No.	Revision	Drawn	Chk.	Appd.	Date

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Te Kaunihera o Tāmaki Makaurau

Project  
**AUCKLAND COUNCIL**  
**PROPOSED PARK IMPROVEMENTS AT**  
**HELENSVILLE A & P SHOWGROUNDS**  
**63 RAILWAY STREET, HELENSVILLE**

Title  
**PROPOSED EONE SEWER SYSTEM**

Job No. **A3-23985**

Sheet No.  
**E-26**

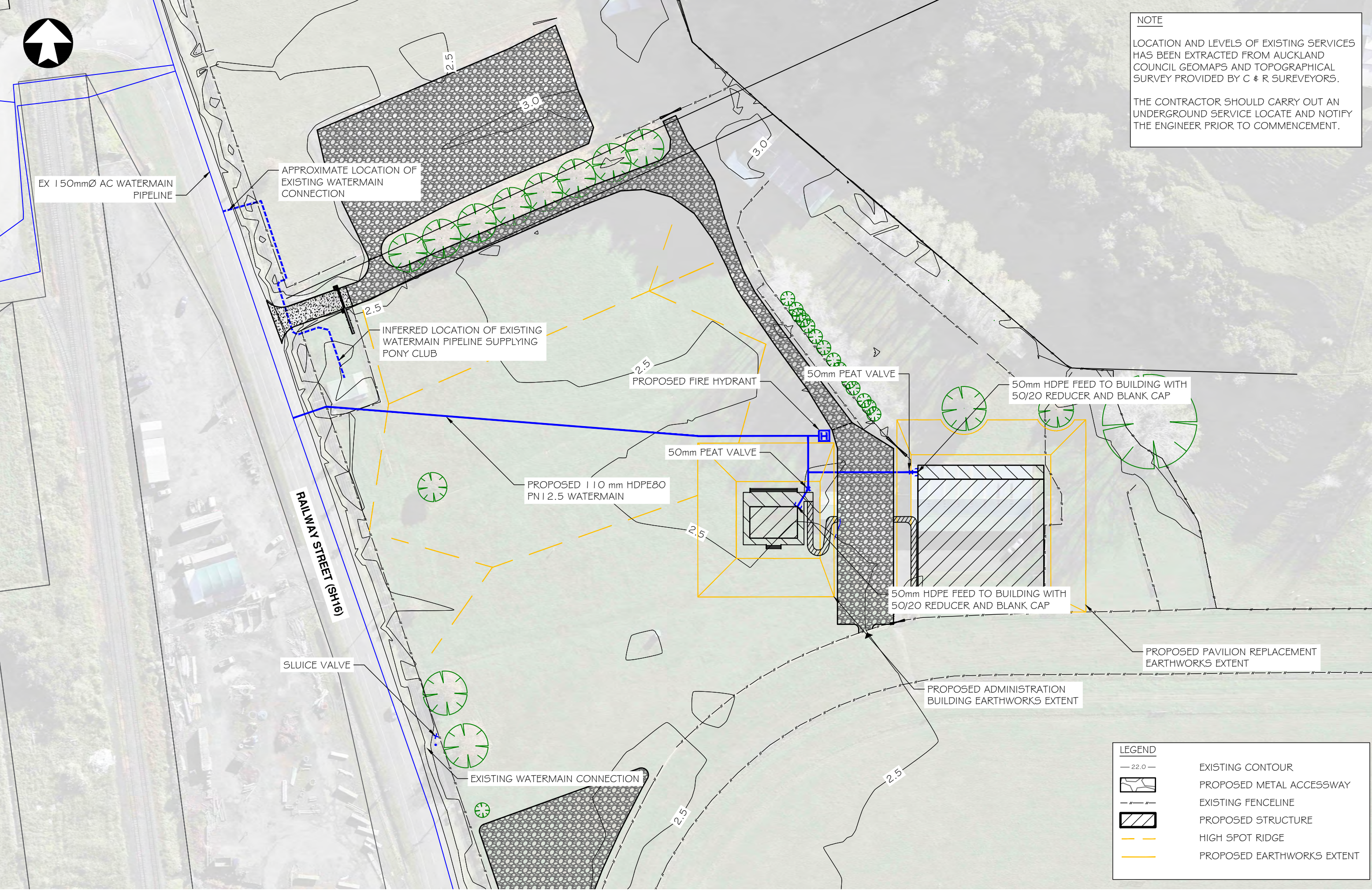
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**NOTE**

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THE CONTRACTOR SHOULD CARRY OUT AN UNDERGROUND SERVICE LOCATE AND NOTIFY THE ENGINEER PRIOR TO COMMENCEMENT.



**LEGEND**

	EXISTING CONTOUR
	PROPOSED METAL ACCESSWAY
	EXISTING FENCELINE
	PROPOSED STRUCTURE
	HIGH SPOT RIDGE
	PROPOSED EARTHWORKS EXTENT

No.	Revision	Drawn	Chk.	Appd.	Date

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Scale	1:1000 @ A3	
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Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title  
**WATER SUPPLY PLAN**

Job No.  
**A3-23985**

Sheet No.  
**E-27**

Rev.  
-



PROPOSED 20 AMP UNDERGROUND POWER CABLE TO SERVICE CARVAN PLINTH

PROPOSED 30 AMP UNDERGROUND POWER CABLE TO SERVICE SWITCHBOARD

EXISTING POWER BOX TO REMAIN

**NOTE**

LOCATION AND LEVELS OF EXISTING SERVICES HAS BEEN EXTRACTED FROM AUCKLAND COUNCIL GEOMAPS AND TOPOGRAPHICAL SURVEY PROVIDED BY C & R SUREVEYORS.

THE CONTRACTOR SHOULD CARRY OUT AN UNDERGROUND SERVICE LOCATE AND NOTIFY THE ENGINEER PRIOR TO COMMENCEMENT.

AMP	DISTANCE
20	230
30	175
60	40
100	120

PROPOSED 20 AMP UNDERGROUND POWER CABLE TO SERVICE SLIDING GATE

EXISTING POWER TRANSFORMER

RAILWAY STREET (SH16)

PROPOSED REPLACEMENT 100 AMP UNDERGROUND POWER CABLE

PROPOSED 20 AMP UNDERGROUND POWER CABLE TO SUPPLY ANNOUNCERS BOX

PROPOSED 20 AMP UNDERGROUND POWER CABLE TO SERVICE ON TRACK POWER SUPPLY

EXISTING POWER CABLE TO ANNOUNCERS BOX

EXISTING POWERBOX TO BE REMOVED DURING PAVILION EARTHWORKS

**LEGEND**

	EXISTING CONTOUR
	EXISTING ACCESSWAY
	EXISTING FENCELINE
	EXISTING STRUCTURE
	EXISTING BURIED CABLE
	EXISTING POWER BOX TO BE DECOMMISSIONED
	EXISTING HIGHSPOT RIDGE
	PROPOSED POWER RETICULATION
	PROPOSED DOUBLE IP65 POWER POINT

No.	Revision	Drawn	Chk.	Appd.	Date

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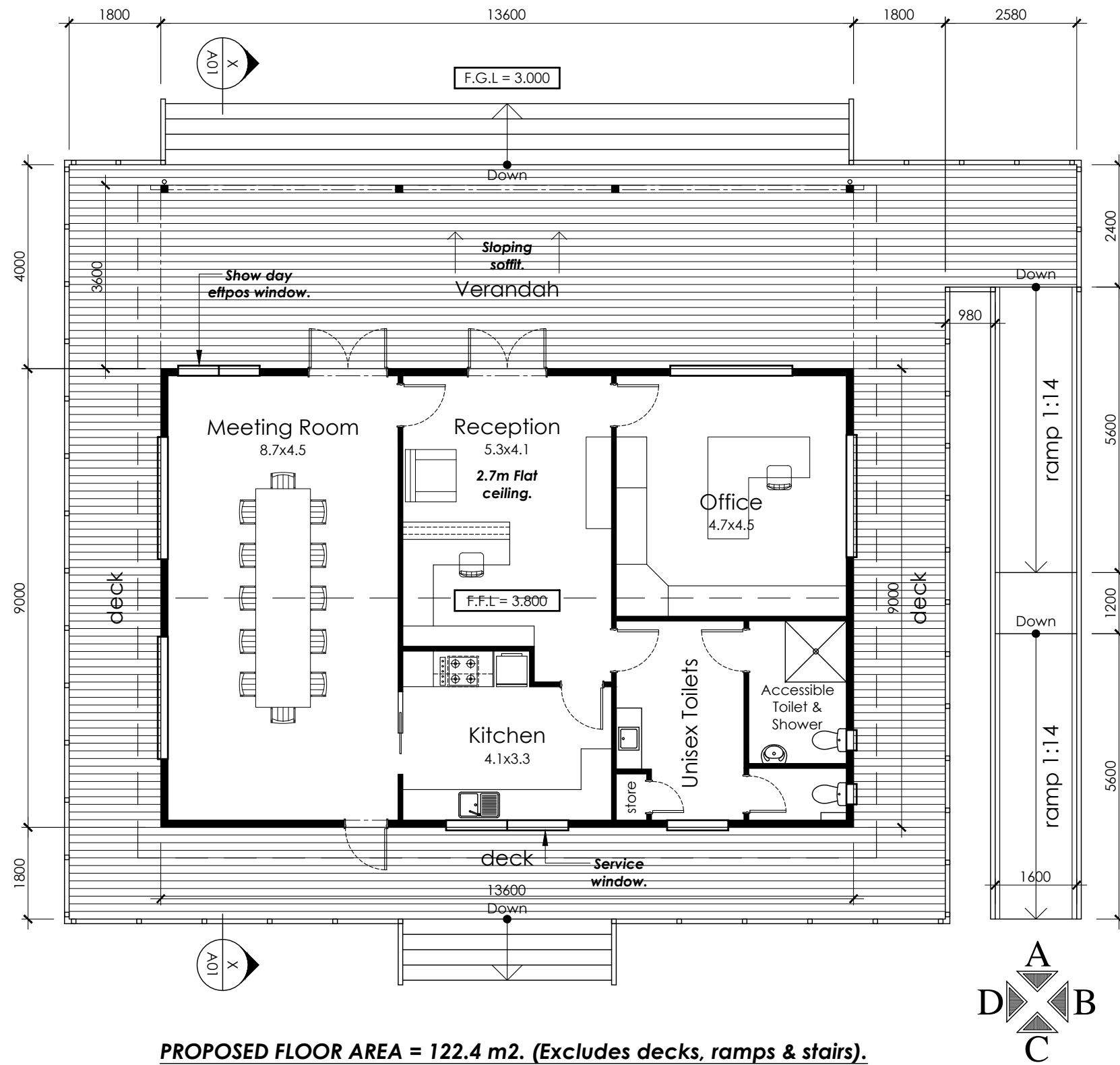
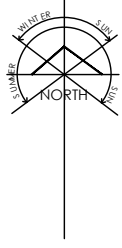
**Auckland Council**  
Te Kaunihera o Tāmaki Makaurau

Project  
**AUCKLAND COUNCIL  
PROPOSED PARK IMPROVEMENTS AT  
HELENSVILLE A & P SHOWGROUNDS  
63 RAILWAY STREET, HELENSVILLE**

Title	<b>UNDERGROUND POWER SITE PLAN</b>
Job No.	<b>A3-23985</b>

Sheet No.	<b>E-28</b>
Rev.	-





**PROPOSED FLOOR AREA = 122.4 m2. (Excludes decks, ramps & stairs).**

NOTE:  
All areas and dimensions are approximate only.  
Layout subject to change.

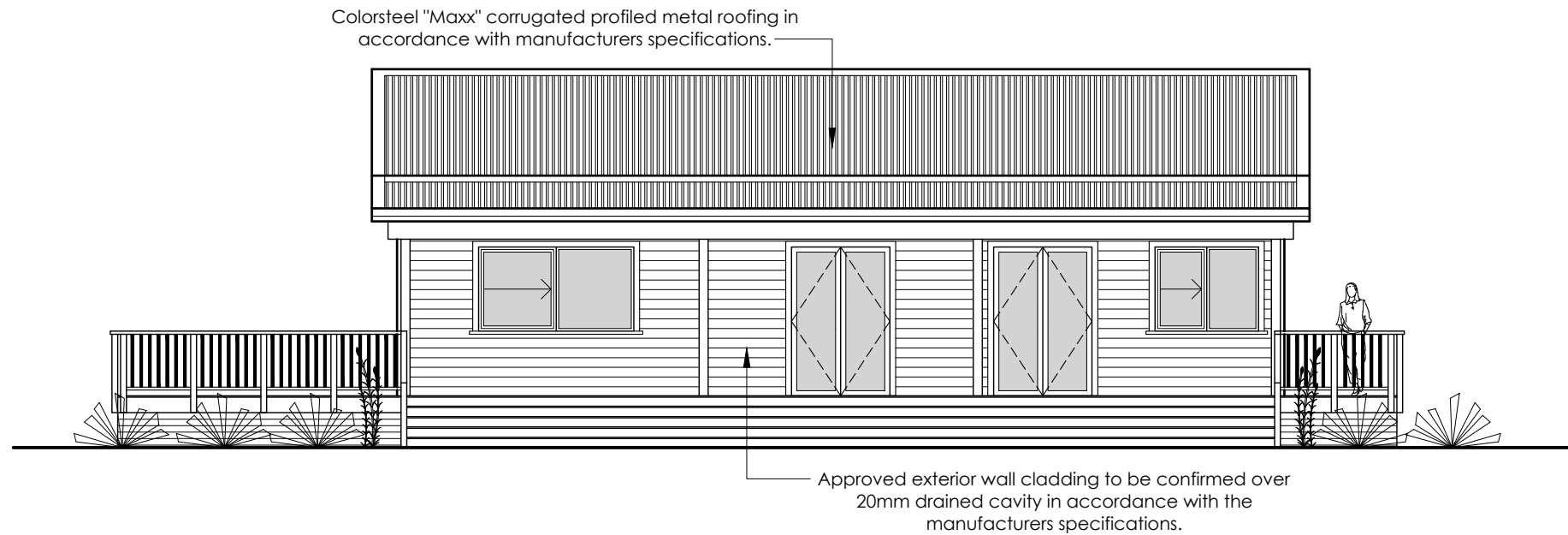
Building Use:	Staff Facilities / Offices.
Occupant Density:	Offices & Staffrooms = 0.1/m2. Reception Areas = 0.1/m2. Kitchen = 0.1/m2.
Design Occupancy:	12.24
Unisex Toilet Facilities:	2
Staff with disabilities:	1

## ADMINISTRATION BLOCK - FLOOR PLAN. 1:100

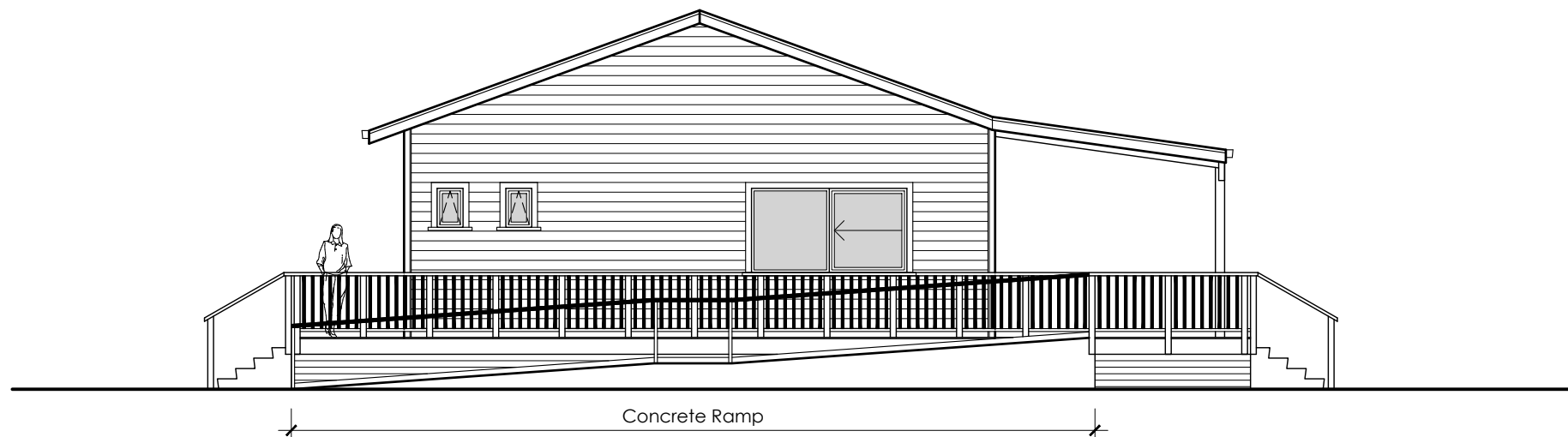


PLAN STATUS:	<b>PRELIMINARY</b>	
DESIGNER:	ANDREW DUFF ARCHITECTURAL LIMITED ARCHITECTURAL DRAUGHTSMAN, N.Z.C.A.D PO BOX 552, OREWA, 0946. WEBSITE: www.adadesign.co.nz PH: 09 426 8364 MOB: 021 775 478 EMAIL: andrew@adadesign.co.nz	

CLIENT:	HELENSVILLE A&P ASSOCIATION	
PROJECT:	PROPOSED ADMIN BLOCK 63 RAILWAY STREET HELENSVILLE AUCKLAND.	
SCALE:	DRAWN BY:	DATE:
SHOWN@A3	A.D	27.09.2022
JOB NO.	DRAWING NO.	REV:
ADAL-293	1 OF	3



**ADMINISTRATION BLOCK - ELEVATION A. 1:100**



**ADMINISTRATION BLOCK - ELEVATION B. 1:100**



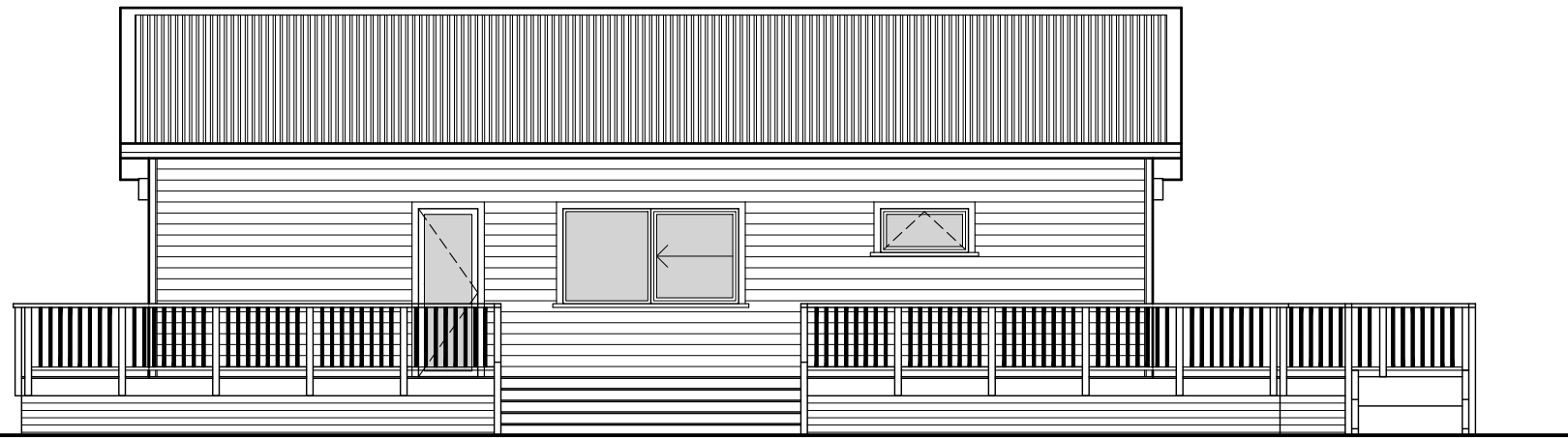
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DESIGNER:  
**ANDREW DUFF ARCHITECTURAL LIMITED**  
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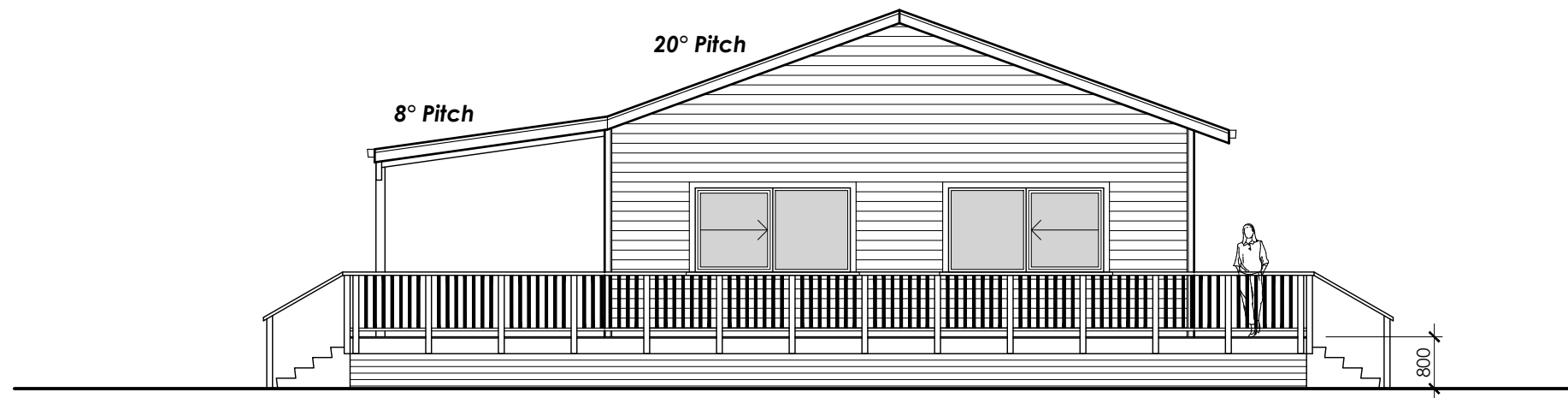
CLIENT:  
**HELENSVILLE A&P ASSOCIATION**

PROJECT:  
**PROPOSED ADMIN BLOCK  
63 RAILWAY STREET  
HELENSVILLE  
AUCKLAND.**

SCALE: SHOWN@A3	DRAWN BY: A.D	DATE: 27.09.2022
JOB NO. ADAL-293	DRAWING NO. 2 OF	REV: 3



**ADMINISTRATION BLOCK - ELEVATION C. 1:100**



**ADMINISTRATION BLOCK - ELEVATION D. 1:100**



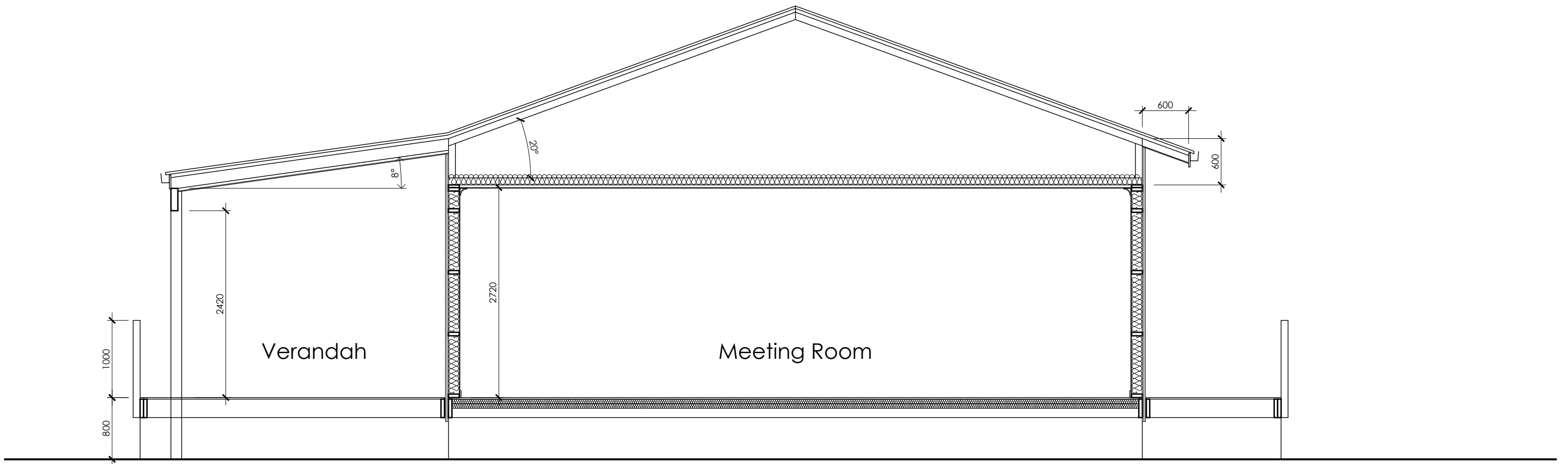
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**PRELIMINARY**

DESIGNER:  
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PH: 09 426 8364 MOB: 021 775 478 EMAIL: andrew@adadesign.co.nz

CLIENT:  
**HELENSVILLE A&P ASSOCIATION**

PROJECT:  
**PROPOSED ADMIN BLOCK  
63 RAILWAY STREET  
HELENSVILLE  
AUCKLAND.**

SCALE: SHOWN@A3	DRAWN BY: A.D	DATE: 27.09.2022
JOB NO. ADAL-293	DRAWING NO. 3 OF	REV: 3



CROSS SECTION X-X  
1:50

**ADMINISTRATION BLOCK - CROSS SECTION.**



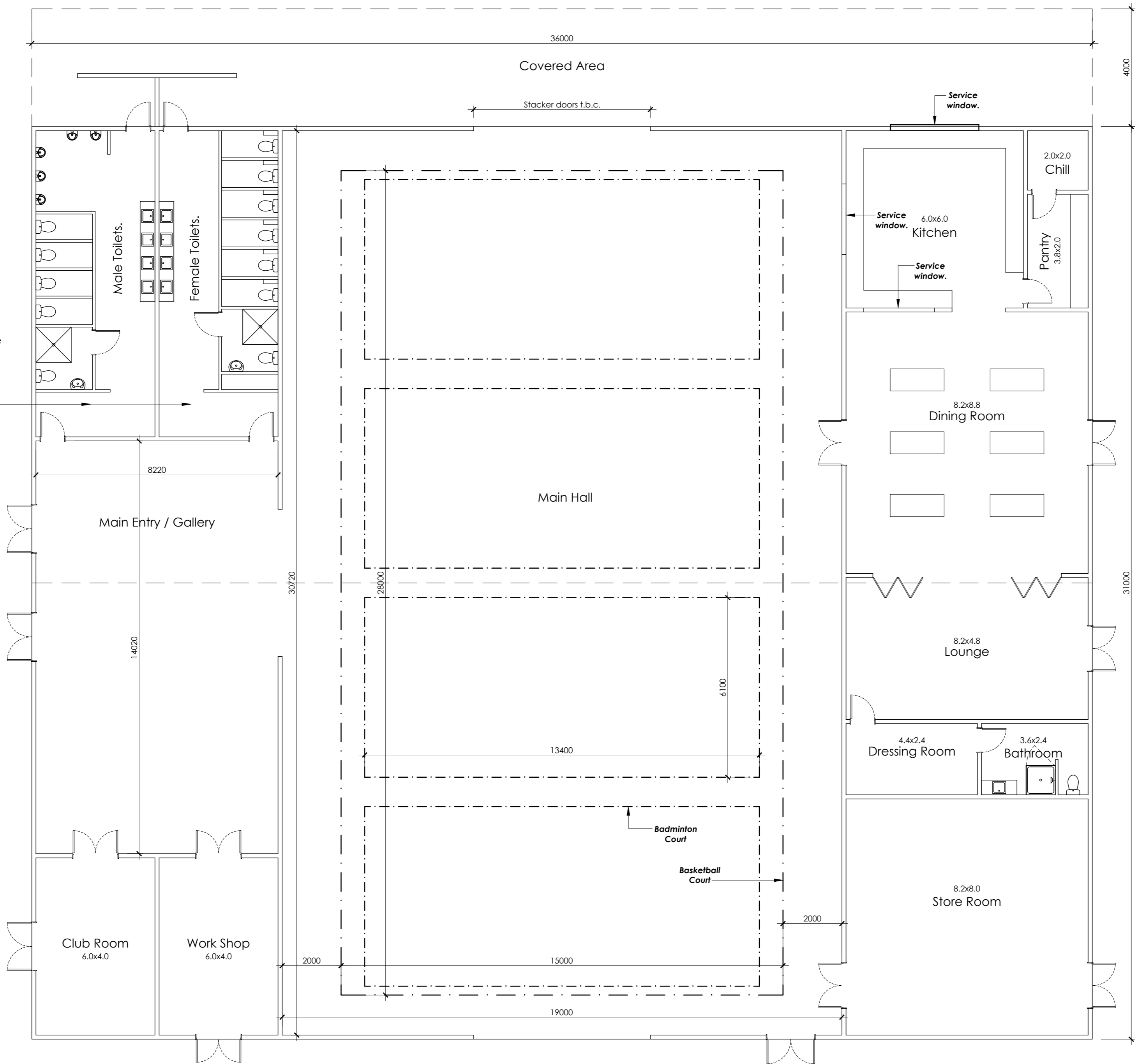
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DESIGNER:  
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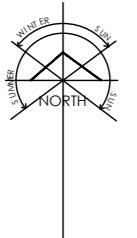
CLIENT:  
HELENSVILLE A&P ASSOCIATION

PROJECT:  
PROPOSED ADMIN BLOCK  
63 RAILWAY STREET  
HELENSVILLE  
AUCKLAND.

SCALE: SHOWN@A3	DRAWN BY: A.D	DATE: 27.09.2022
JOB NO. ADAL-293	DRAWING NO. 4 OF	REV: 3



Note: Number of toilets to be confirmed by design occupancy.



NOTE:  
All areas and dimensions are approximate only.  
Layout subject to change.

**MAIN HALL - OPTION B - FLOOR PLAN. 1:100 on A2.**

**PROPOSED FLOOR AREA = 1116 m2. (Note: Design occupancy and number of facilities to be confirmed).**

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PLAN STATUS:  
**PRELIMINARY**

DESIGNER:  
ANDREW DUFF ARCHITECTURAL LIMITED  
ARCHITECTURAL DRAUGHTSMAN, N.Z.C.A.D.  
PO BOX 522, OREWA, 0946. WEBSITE: www.adadesign.co.nz  
PH: 09 426 8364 MOB: 021 775 478 EMAIL: andrew@adadesign.co.nz

CLIENT:  
HELENSVILLE A&P ASSOCIATION

PROJECT:  
PROPOSED MAIN HALL,  
63 RAILWAY STREET  
HELENSVILLE  
AUCKLAND.

SCALE: SHOWN@A2	DRAWN BY: A.D	DATE: 27.09.2022
JOB NO. ADAL-293	DRAWING NO. 2 OF 2	REV: 3

## Memorandum

24 August 2023

**To:** Rodney Local Board

**Subject:** **Helensville A&P Showgrounds - comprehensive renewal of major infrastructural assets and facilities**

**From:** Peter Bilton – Senior Project Manager, Parks and Community Facilities

### Purpose

1. To discuss the outcome of the investigation and design for the renewal of the Helensville Agricultural and Pastoral (A&P) Showgrounds and seek direction from the local board on the preferred option for delivery.

### Summary

2. The Helensville A&P Showgrounds – full facility renewal project (ID 30605) was approved as part of the Rodney Local Board – Customer and Community Services 2022-2024 work programme (resolution ID RD/2021/265, RD/2022/79, RD/2023/95).
3. The Helensville A&P Showgrounds were gifted to the former Rodney District Council just prior to the Auckland Council amalgamation in 2010, with the condition that the land was to be vested as a recreation reserve under the Reserves Act 1977. It was vested with a 35-year lease to the Helensville A&P Association that holds the landlord (now Auckland Council) responsible for any major structural and renewal works.
4. The flat site near the Kaipara River and bounded by the Awaroa Stream, on its southern boundary, lies within a floodplain that is influenced by the Kaipara Harbour tides. The most recent flood modelling now places the majority of the site within a floodplain, with only a small area in the eastern corner protruding out of the flood levels.
5. The showgrounds are used throughout the year for a variety of activities including the Helensville A&P Show which is a major event held in February each year. Some additional usage of the pavilion building has occurred while the Helensville War Memorial Hall is temporarily out of use due to major remedial works.
6. Condition assessments of all the major assets on site have identified that they are in poor condition and do not meet the required standards for public use. This is due to minimal investment made by the previous landlord to renew/upgrade the assets over a considerable period.
7. A local engineering consultancy has been engaged and has worked with the A&P Association to produce an engineering report and develop an initial programme of civil ground works for renewing/upgrading infrastructural assets that are proposed to commence over the 2023/2024 construction season.
8. Initial preliminary concept designs have also been prepared for replacement of the two main buildings as a second stage. However, these were prepared based on the existing building sites with raised building platforms before the recent revised flood modelling was completed.
9. The revised flood modelling requires the floor levels of the buildings to be raised by a further 700mm which has a major impact on construction and additional material costs.
10. Consequently, a further option is now proposed to investigate a new site for the buildings further east of the existing pavilion building that is on the edge of the new floodplain levels.
11. Whilst this option will require utility services and roading to be extended a longer distance, it has the advantage of less imported fill required for the building platform, and the existing

buildings can continue to be used while the new pavilion/administration offices are being constructed.

- Staff will confirm the suitability of the proposed new building site and present a report to the local board in October 2023 to seek a decision on the options.

## Context

- The Helensville A&P Showgrounds are located on the immediate northern fringe of the Helensville township. It is mostly a flat level site, consisting of five freehold land parcels free of encumbrances/easements to make a total land area of 28.35 hectares. The circular equestrian racetrack is the most dominant landscape feature occupying the larger central area of the showgrounds while the associated building facilities are in the northern smaller land area.



- In 2010, the Helensville Racing Club Incorporated gifted the land and existing buildings, comprising the Helensville Showgrounds to the former Rodney District Council. The land is to be vested as a recreation reserve under the Reserves Act 1977 as a condition of the Deed of Gift. A copy of the Deed of Gift is attached as Attachment A.
- A lease to Helensville Agricultural and Pastoral (A&P) Association Incorporated was in place at that time for most of the land and all assets/buildings. The lease commenced 1 December 2001 and provides for one term of 35 years less one day (Attachment B).
- Under the conditions of the lease agreement, Helensville A&P Association maintain the assets, but the council is responsible for any structural repairs and renewals.
- The showgrounds lie within a flood prone area with a defined flood plain covering significant portions of the site. Flood inundation is also influenced by tidal inundation because of its proximity to tidal rivers and streams that run into the nearby Kaipara Harbour. Most of the existing buildings currently remain dry during floods except for the administration office in the pavilion building with a floor level 150mm lower than the pavilion.

18. A reserve management plan for the Helensville A&P Showgrounds has been prepared under the recently adopted omnibus Rodney Local Parks Management Plan. In addition to acknowledging that the site is subject to stormwater runoff and coastal inundation during storm events, there is the opportunity to link the showgrounds as per the Draft Rodney West Local Paths (Greenways) Plan. A copy of the relevant pages from the Rodney Local Parks Management Plan is attached as Attachment C.
19. The current usage of the showgrounds includes:
- a) the annual one-day Helensville A&P Show that has been running for over 100 years and is promoted as 'The biggest 1-day show in the north!'
  - b) daily equestrian users who are keyholder members for an annual fee
  - c) home for the Helensville Pony Club via a sub-licence agreement with the Helensville A&P Association. (Note: the A&P Association is currently negotiating a sublease agreement with the Kumeū Western Riding Club that includes the construction of an all-weather riding arena)
  - d) organised motorhome and caravan rallies throughout the year
  - e) the pavilion is a venue for weddings, private functions, and community events
  - f) use of the racetrack and pavilion for commercial filming locations
  - g) monthly Kaukapakapa Village Market (temporarily using the pavilion due to flood damage to the Kaukapakapa Hall)
  - h) the Helensville Lions bi-annual book sale (temporarily using the pavilion while the Helensville War Memorial Hall is closed for major remedial works)
  - i) hay/silage cutting tendered to the community as a source of revenue/fundraising.
20. An overview of the activities and programmes associated with the showgrounds is provided by the Helensville Agricultural and Pastoral Association as Attachment D.
21. A condition assessment of the main building facilities has identified that they are all in poor condition, no longer fit for purpose and do not meet today's building codes and standards.

Accordingly, the local board approved a multi-year full facility renewal project as part of the Risk Adjusted Programme in the Rodney Local Board Customer and Community Services work programme as shown below:

**Helensville A&P Showgrounds - full facility renewal**

Renew assets on site as identified in the recent site assessment including the drainage, electrical services, building infrastructure, all accessibility to the toilet block and open space areas.

- FY21/22 - investigation and assessments
- FY22/23 - design and scoping
- FY23/24 to FY27/28 - deliver physical works
- Risk Adjusted Programme (RAP) project.

22. Future budget allocation is subject to the local board approving the delivery option.

The budget allocation detail is provided in the table below:

Financial Year	Local Renewals	Resolution number
2021/2022	\$124,960	RD/2021/265
2022/2023	\$165,557	RD/2022/79
2023/2024	\$270,459	RD/2023/95
2024/2025	\$320,000	
2025/2026	\$439,894	
2026/2027	\$1,700,000	



2027/2028	\$1,600,000	
<b>Total Approved Budget</b>	<b>\$4,620,871</b>	

## Discussion

23. Condition assessments and asbestos surveys have been undertaken for all the aging assets that consist of:
- the main pavilion building (525 square meters) with small administration offices at one end and some toilet facilities on one side
  - a small toilet and ablution block near the pavilion building
  - sheep/small animals holding pens under a stand of poplar trees with some trees having recently fallen over as a result of Cyclone Gabrielle
  - a green painted corrugated iron shed with animal stables
  - a small horse measuring shed alongside the stables shed with a concrete yard and wash bays between the two sheds
  - a half round corrugated iron barn for storage of hay and farm equipment. A lean-to shed is attached to one side of the barn for storage of timber, fence posts, etc
  - a small self-contained building near the main entrance used by show judges
  - a small, corrugated iron utility shed with electrical distribution board in the middle of the main road front paddock that contains several power outlet boxes for trade stallholders.
24. Currently, a resident caretaker lives on site in a caravan to provide security and day to day minor maintenance.
25. Some renewals of minor assets have already occurred including replacement of about 1,500 metres of farm fencing, replacement of the sliding doors on the round barn that were blowing off in high winds, and painting of the round barn.
26. A local engineering consultancy firm, Hutchinson Consulting Engineers, were engaged to undertake site and geotechnical investigations and carry out a building assessment of the two main buildings being the pavilion with an administration office, and toilet ablution block.
27. The Engineering Report attached as Attachment E provides a detailed design with costings and a programme of staged works. The plans for the two stages are summarised below and detailed in Attachments F (1) and F (2).

### Stage 1:

28. The assets to be renewed/upgraded for the stage one civil site works and the suggested order of staging is as follows:
- Earthworks – reshaping/regrading of the existing drainage swales in the front paddock trade show area as part of installing subsoil drainage; stripping of topsoil for a new metal car park area next the racetrack; forming up of the building platform for the proposed new office administration building (note: earthworks for the replacement pavilion building platform can only occur as part of stage two once the existing building is demolished). The Engineering Report gives all earthworks volumes and costings as part of stage one.
  - Stormwater drainage – replacement of the existing 225 millimetres diameter stormwater pipe through the centre of the showgrounds between Pipitiwai Drive and Awaroa Stream with a 375 millimetres diameter pipe and new flood gate; subsoil drains below swales in the trade show paddock; cleaning out and regrading the open drain next the round barn discharging to Pipitiwai Drive drain; reshaping/grading of roadside swales for better stormwater runoff.
  - Wastewater – replacing the existing wastewater pumpstation and service line to service the future office administration and pavilion buildings.
  - Electrical works – replacement of the main electrical distribution board (which has identified asbestos material) and the pillar outlet boxes for trade stallholders;

replacement/renewal of underground reticulation including the mains from the roadside transformer.

- e) Access road and car parks – rehabilitation and reshaping of the existing main gravel driveway; formation of new gravel car park next the racetrack for horse float unloading/loading (will be an alternative access and parking area when the main access road is closed for works); upgrading the main entrance with a concrete vehicle crossing and sliding gate set sufficiently back from the highway to accommodate a car and horse float; (note: the new car park with 36 spaces for the pavilion and administration building will be part of stage 2).

## Stage 2

- 29. The second and final stage would be the replacement of the buildings consisting of construction of the new administration office building to accommodate these services before the pavilion is demolished. This phase of the project requires completion of the detailed design and obtaining building consents.
- 30. Resource consent will be required for the earthworks, new pavilion building and associated new car park.
- 31. The council has revised its flood modelling following the significant flooding that has been experienced across the region since early 2023. The Engineering Report with the preliminary design for the replacement of the toilet amenity block with a new administration building, and the main pavilion building has been based on the previous 100-year floodplain level of reduced level (RL) 2.7 metres. The flood level has now been raised by a further 700 millimetres to RL 3.4 metres and it could be raised further in the future. The current designed finished floor levels of RL 3.8 metres would need to be raised to RL 4.5 metres. The building platforms constructed from both site generated and imported fill would have to be up to 1.8 metres above existing ground levels:

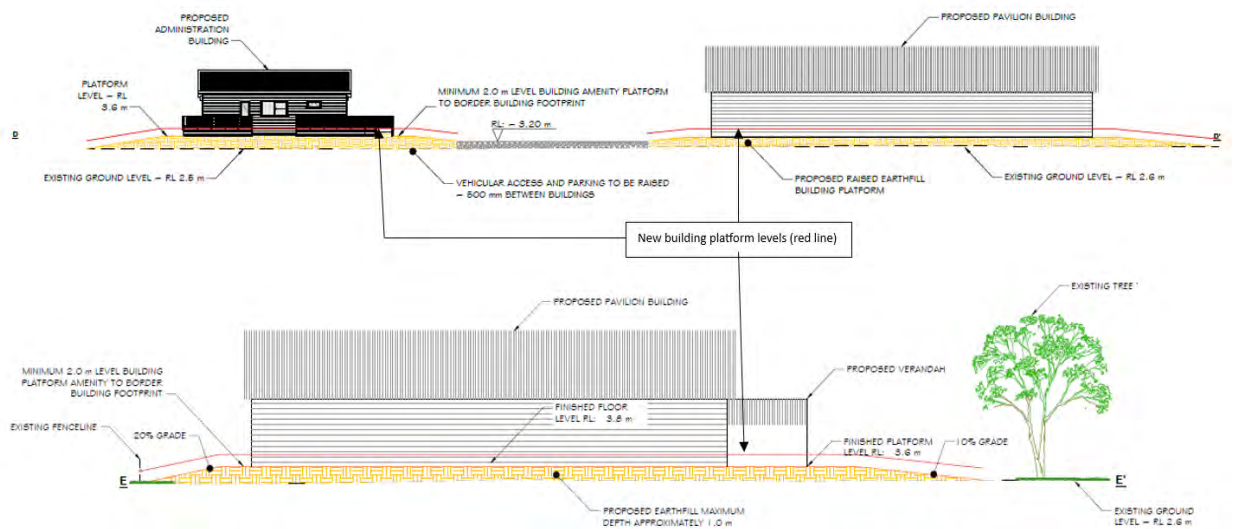


Figure 1: Cross-sections showing increased building platform heights for changed flood levels

- 32. Staff have considered options for investment in the showground facilities to ensure the provision of required levels of service are detailed in the table below:

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
Option 1 Do nothing	The assets would continue to deteriorate and fall into disrepair. The service would no longer be able to be provided	<p><b>High</b> – the buildings would become hazardous and eventually need to be demolished.</p> <p>The annual A&amp;P show would cease, and the A&amp;P Association would fold.</p> <p>Council would be in breach of its responsibilities for structural repairs and renewals under the gifting deed with accompanying lease and sub-lease agreements.</p> <p>Future use of the land would be in question. The gifting deed prevents selling of the land</p>	<p>Not recommended - No action</p> <p>This option is not recommended as it will not provide the level of service to meet either current or future increasing needs</p>	<b>\$0</b>
Option 2 Sell the land and asset in exchange for purchasing a new property less prone to flooding	<p>Any alternative flat site in the Helensville – Parakai area is also likely to be subject to flooding.</p> <p>The existing A&amp;P showground site is not suitable for other development usages (residential, commercial, industrial) so would need to be retained as public open space because it contributes to the flood management of the area</p>	<p><b>High</b> – Council would need to first negotiate with the Helensville Racing Club who gifted the land along with the A&amp;P Association as lessee to seek agreement for selling the land in exchange for purchasing a less flood prone property in the area. Likely to be lengthy process with legal complications.</p> <p>It would not be feasible nor necessary to purchase and develop an equivalent area of suitable land from the possible sale of the showgrounds land</p>	<p>Not recommended - No action</p> <p>This option is not recommended as it could take some time for an outcome. The existing assets continue to deteriorate in the meantime</p>	<b>\$0</b>
Option 3 Refurbish the buildings to a reasonable condition <b>OR</b> deconstruct and rebuild the facility	<p>Existing pavilion and toilet amenity buildings of lightweight construction not up to code for public occupancy/accessibility; floor of administration office area floods periodically</p> <p>Building platforms need to be raised above the</p>	<p><b>High</b> – refurbished or reconstructed buildings would cost more than construction of new buildings</p> <p>Refurbishment/rebuilding on the same building platforms doesn't address the future flood design levels</p>	<p>Not recommended – No action</p> <p>Poor use of investment and will not provide the level of service to meet either current or future needs and standards</p>	<b>\$0</b>

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
	predicted design flood level			
<p>Option 4</p> <p><b>Preferred</b></p> <p>Like for like renewal/upgrade (to today's standard)</p>	<p>Meets the local board outcomes of '<i>Our local parks, sports and recreation facilities cater to a wide range of interests and abilities. They are enjoyable places to visit, and relax or be active in. They are easily accessible and meet the demands of our current and future generations.</i>'</p> <p>Addresses impact of climate change with raising the buildings above the predicted design flood level</p>	<p><b>Medium to High</b> – buildings and supporting infrastructure still within a floodplain impacted by coastal storm surge and sea level rise but flood waters do disperse quickly once tides recede</p> <p>Recent revision of the Council's flood modelling has increased the floodplain by another 700mm and the requirement to raise the pavilion finished floor level from RL 3.8m to potentially RL 4.5m</p> <p>Additional costs to import significantly more fill, though may be able to generate some on site by creating a wetland</p> <p>Significant investment required for this option although can be staged over 2 – 4 years to spread costs</p>	<p>This has been confirmed as the preferred option following consultation with the A&amp;P Association and a site inspection</p>	<p><b>Civil works over financial years 2023/2024 and 2024/2025 \$3M</b></p> <p>(Design &amp; consenting - \$0.5M; Construction - \$2.5M)</p> <p><b>Buildings replacement over a further 1 - 2 financial years from 2025/2026: \$3.5M</b> (Note – does not include additional costs for raising the building platforms a further 0.7m)</p> <p>Project &amp; construction management and contingency \$0.5M</p> <p>Construction - \$3M</p> <p><b>Total cost \$6.5M</b></p>
<p>Option 5</p> <p>Construct new pavilion and admin buildings on a new site in a less flood prone location of either the showgrounds or the adjoining Pipitiwai Reserve</p>	<p>As above</p>	<p>The adjoining Pipitiwai Reserve is not suitable as the only flattish land is a slither along the boundary with the A&amp;P Showgrounds</p> <p>The rest of the reserve consists of a steep slope facing west that casts a significant shadow for the morning sun</p> <p>There is only a small area of the A&amp;P Showgrounds in the north-eastern corner near the racetrack that is above the latest flood level of around RL 4.0m, approximately 270m further east of the</p>	<p>This alternative option is not preferred following consultation with the A&amp;P Society and initial site investigations</p>	<p><b>Civil works over 2 financial years: \$3.5M</b></p> <p>Design &amp; consenting - \$0.5M</p> <p>Construction \$3M</p> <p><b>Buildings replacement over a further 1 - 2 financial years: \$4.5M</b></p> <p>Project and construction management and contingency - \$0.5M</p>

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
		existing pavilion, and would require a greater distance to run utility services roading/car parking		Construction - \$4M <b>Total cost \$8M</b>

33. The small area of the A&P showgrounds, identified in Option 5, that is on the edge of the updated floodplain level is shown in the plans below:

Figure 2: Updated floodplain plan with 100-year annual exceedance probability (AEP) showing flood free area shaded green



34. One advantage for Option 5 is the administration building could be incorporated into the one building with the pavilion.
35. The two separate buildings required in Option 4 are for the A&P Association to continue to operate its administrative services once the pavilion is demolished.

### Next steps

36. Update the engineering report design and high level costings for the replacement of the two main buildings that will endeavour to be completed and detailed in a report to seek a decision on the options to be presented at a local board business meeting in October 2023.
37. Subject to the local board's decision, staff will proceed with tendering a package of the Stage 1 civil site works for construction works to commence within the upcoming construction season (October 2023 – April 2024). Programming of stage 1 will consider and work around any major events, including the annual Helensville A&P Show Day which will be held on the last weekend of February 2024.
38. The proposed package of civil site works that needs to be delivered prior to Stage 2 are:
- upgrading of the existing gravel access road to the pavilion, new entrance gates, and forming of the new gravel car park with separate entrance next the racetrack
  - stormwater drainage works including reshaping/regrading of the existing drainage swales in the front paddock trade show area as part of installing subsoil drainage, and reshaping drainage swales alongside the main access road

- c) electrical works to replace the main electrical distribution board with asbestos material and the pillar outlet boxes for trade stallholders
- d) Wastewater works to replace the existing main sewer line and the pump station.

## **Attachments**

Attachment A – Deed for Gift of Land Helensville District Racing Club

Attachment B – Helensville A&P Association Lease Agreement

Attachment C – Pages from Adopted Rodney Local Parks Management Plan-Vol 2

Attachment D – Rodney Local Board Helensville Show Overview

Attachment E – Helensville Showgrounds Hutchinson Engineering Report – March 2023

Attachment F (1) – Stage 1 Civil Works Drawing Set

Attachment F (2) – Stage 2 Concept Building Designs

# Helensville A&P Showgrounds

comprehensive renewal of major assets  
and facilities

Workshop Date: 13 September 2023

Peter Bilton – Senior Project Manager, Parks and Community Facilities

Geoffrey Pitman - Area Manager Rodney, Parks and Community Facilities

Angie Bennett – Work Programme Lead, Parks and Community Facilities



## Purpose

To provide the Rodney Local Board:

- The outcome of investigations and design for the renewals of the major infrastructural assets and facilities
- To seek direction on the preferred option for delivery







# Project background

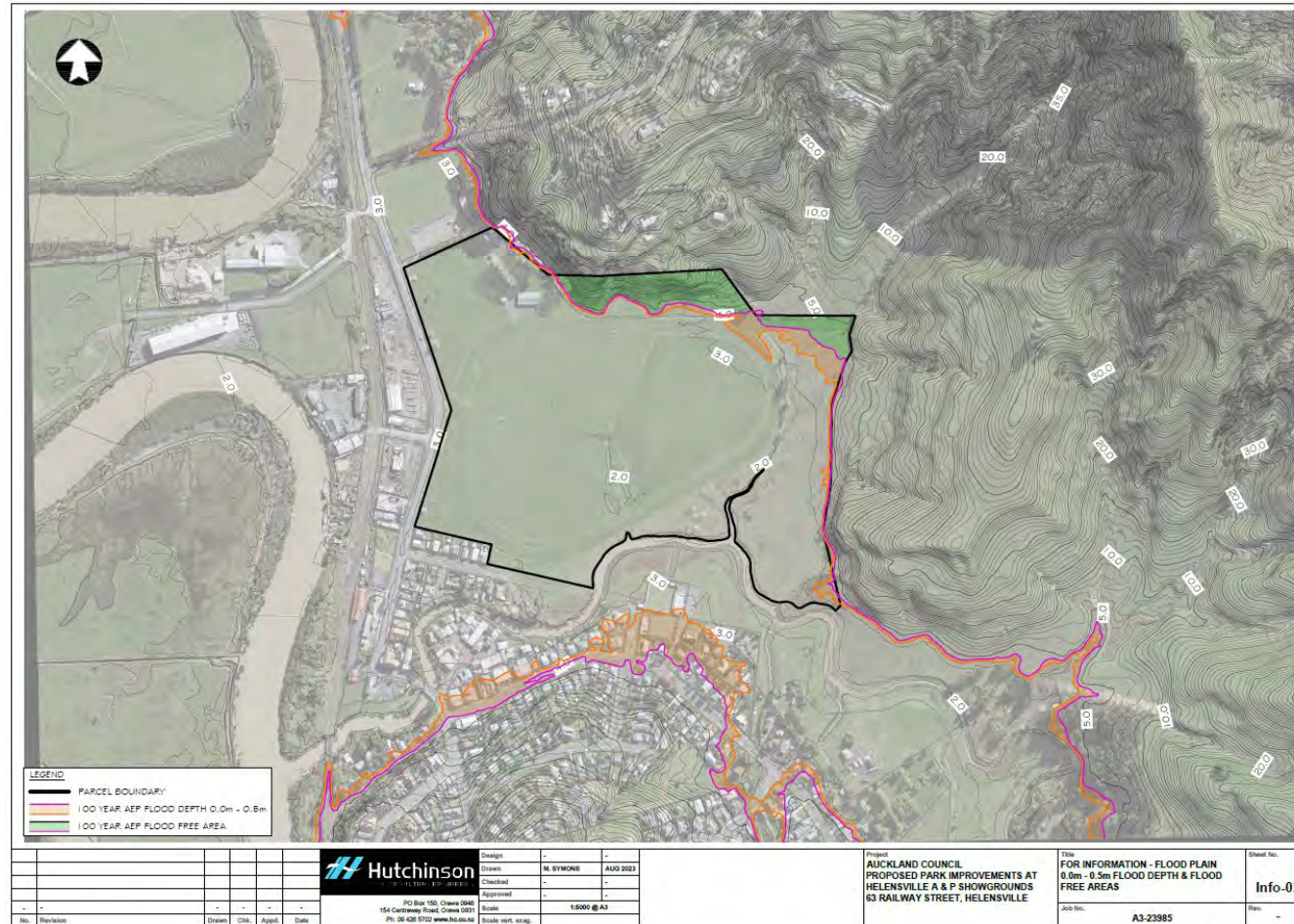
- The 28.35 hectare showgrounds was gifted by the Helensville Racing Club in 2010 with the condition it is to be vested as a recreation reserve under the Reserves Act 1977
- It included a lease to the Helensville Agricultural and Pastoral (A&P) Association that commenced 1 December 2001 for one term of 35 years
- Under the conditions of the lease agreement, the A&P is to maintain the assets while the council is responsible for any structural repairs and major renewals
- The showgrounds is used for:
  - The annual one-day A&P Show
  - Home of the Helensville Pony Club under a sub-licence agreement
  - Daily equestrian key holders
  - Motorhome and caravan rallies
  - Weddings, private functions and community events in the pavilion
  - Use of the racetrack and pavilion for commercial filming locations
  - Hay/silage cutting for community fundraising
  - Temporary use of the pavilion for Kaukapakapa Village Market and Helensville Lions bi-annual book sale while the Helensville **War Memorial Hall** is closed





# Current status

- The showgrounds lies within a floodplain with flood waters affected by tidal inundation that now covers a significant portion of the site after council recently updated its flood levels modelling. (Note: the green shaded area is the only area above the 100 year with tidal inundation flood level)





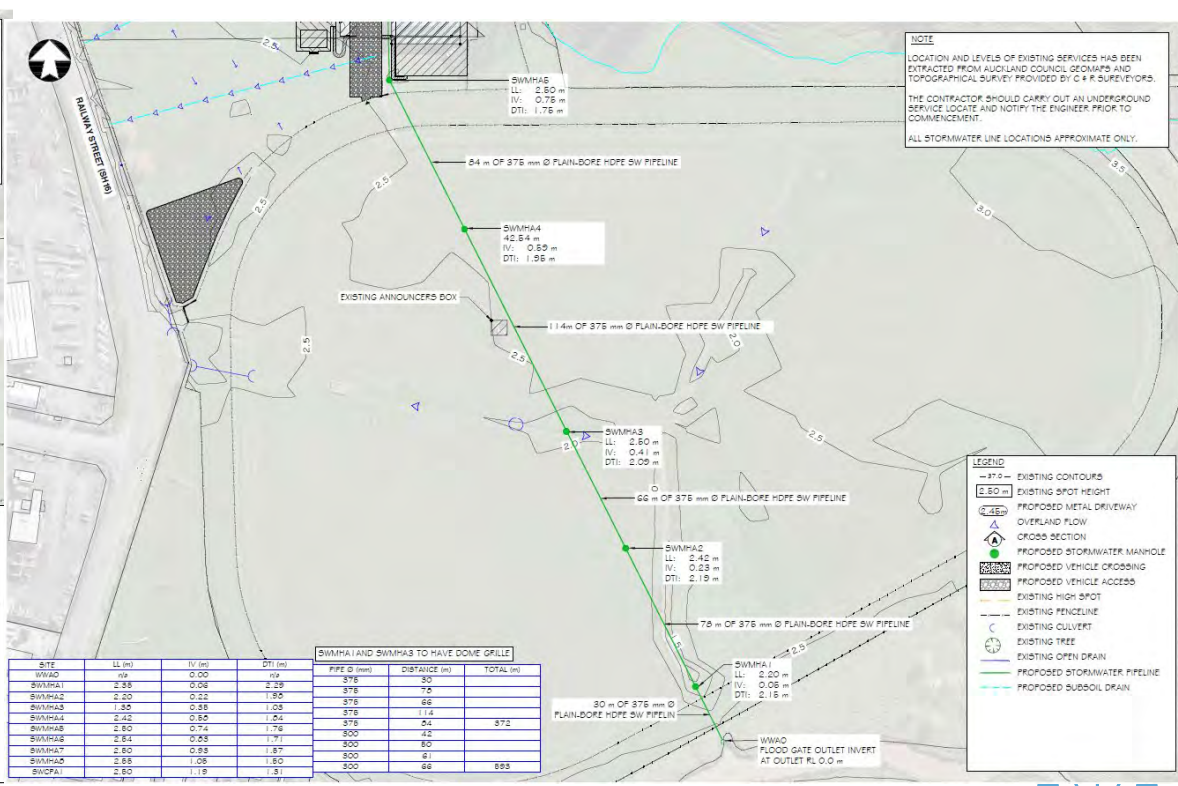
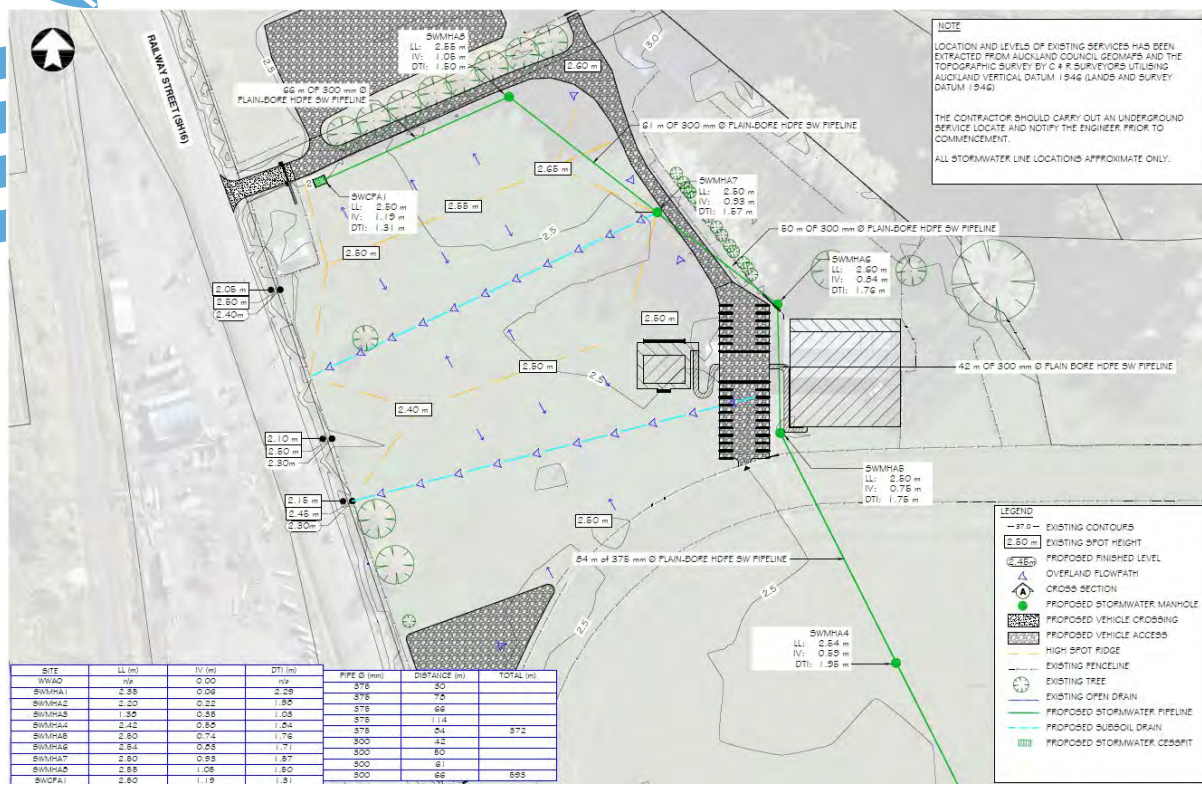
# Current status (continued)

- The main facilities (ablution block, pavilion and administration office) and utilities (roads, drainage, electrical, etc.) have been assessed as in poor condition, no longer fit for purpose and do not meet current building codes and standards



# Current status (continued)

- Design has been completed for a first stage of civil works to upgrade roads and carparks, stormwater drainage and some utility services for tendering to commence this summer construction season





## Engagement and Consultation

- A staged programme for the proposed renewal of the major assets has been prepared in consultation with the A&P Association
- Information has been sent to Ngāti Whātua ō Kaipara but have yet to be engaged
- Feedback has been sought from the Infrastructure and Environmental Services coastal team





# Approved funding allocation

Financial Year	Local Renewals	Resolution Code
2021/2022	\$124,960	RD/2021/265
2022/2023	\$165,557	RD/2022/79
2023/2024	\$270,459	RD/2023/95
2024/2025	\$320,000	
2025/2026	\$439,894	
2026/2027	\$1,700,000	
2027/2028	\$1,600,000	
<b>Total Approved Budget</b>	<b>\$4,620,871</b>	



# Risk Adjusted Programme (RAP)

Project ID	Activity Name	Previous Financial Years FY2021-2023	Financial Years FY2023-2024	Financial Years FY2024-2025	Financial Years FY2025-2026	Financial Years FY2026-2027	Financial Years FY2027-2028
30605	Helensville A&P Showgrounds – full facility renewal	Local Renewals Investigations, scoping and design \$290,517	Local Renewals Design and delivery \$270,459	Local Renewals Design, consenting and delivery \$320,000	Local Renewals Design and consenting \$439,894	Local Renewals Design and delivery \$1,700,000	Local Renewals Delivery \$1,600,000

**Total Approved Budget \$4,620,871**





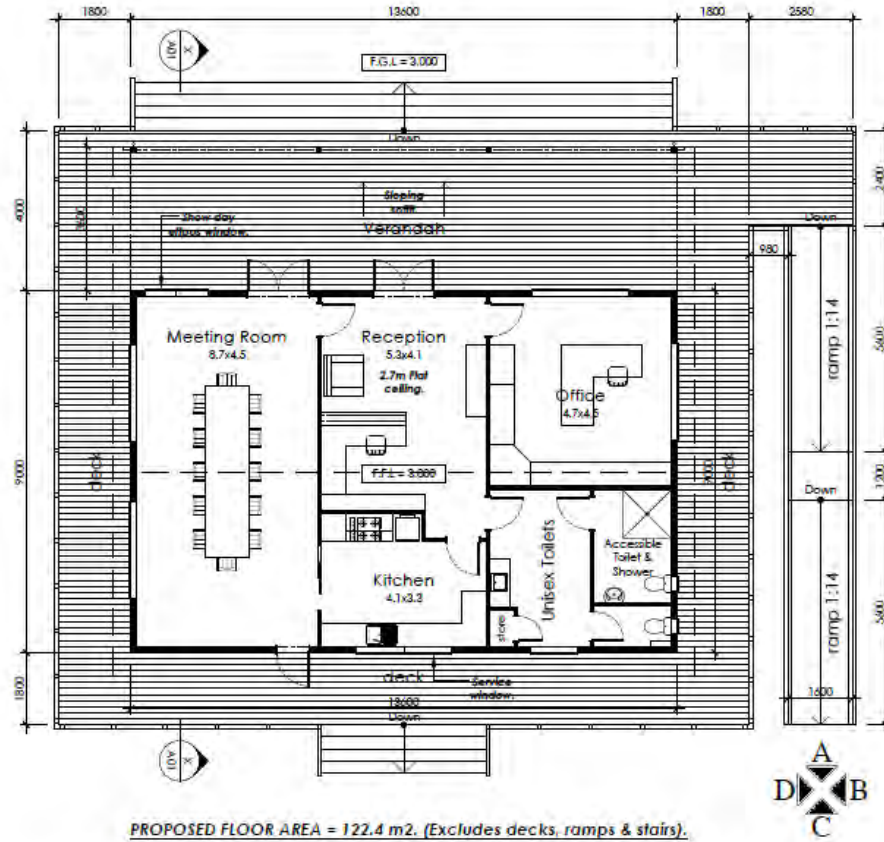
# Options and recommendations

- Four options were initially considered until the recent changes to the floodplain that introduced a further option for a new site
- Option 4 based on rebuilding the pavilion on the same site will require significantly more fill to raise the floor level
- Option 5 was to investigate a new site in the North-eastern corner of the racetrack because of new floodplain levels



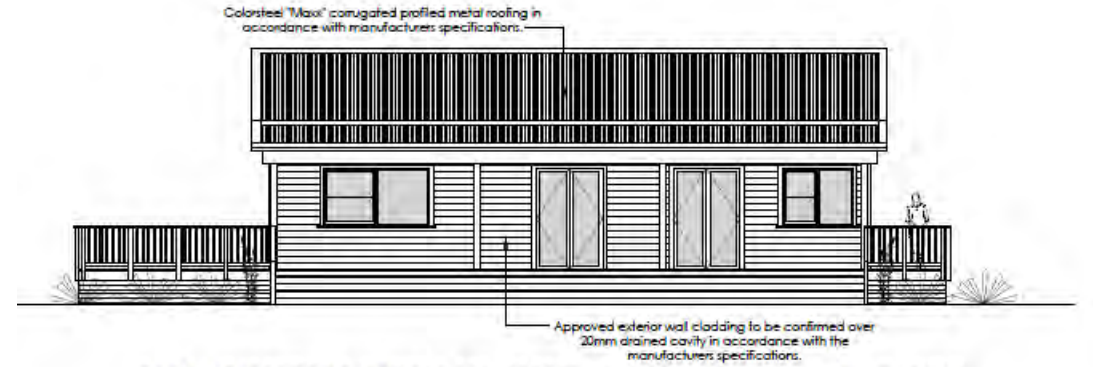


# Preliminary concept plans

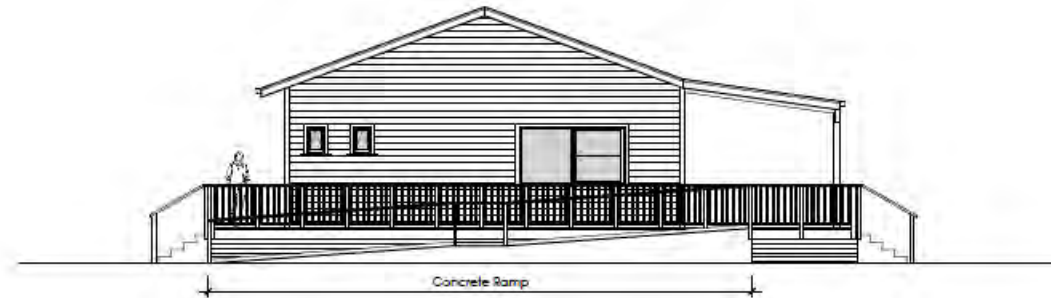


PROPOSED FLOOR AREA = 122.4 m<sup>2</sup>. (Excludes decks, ramps & stairs).

ADMINISTRATION BLOCK - FLOOR PLAN. 1:100



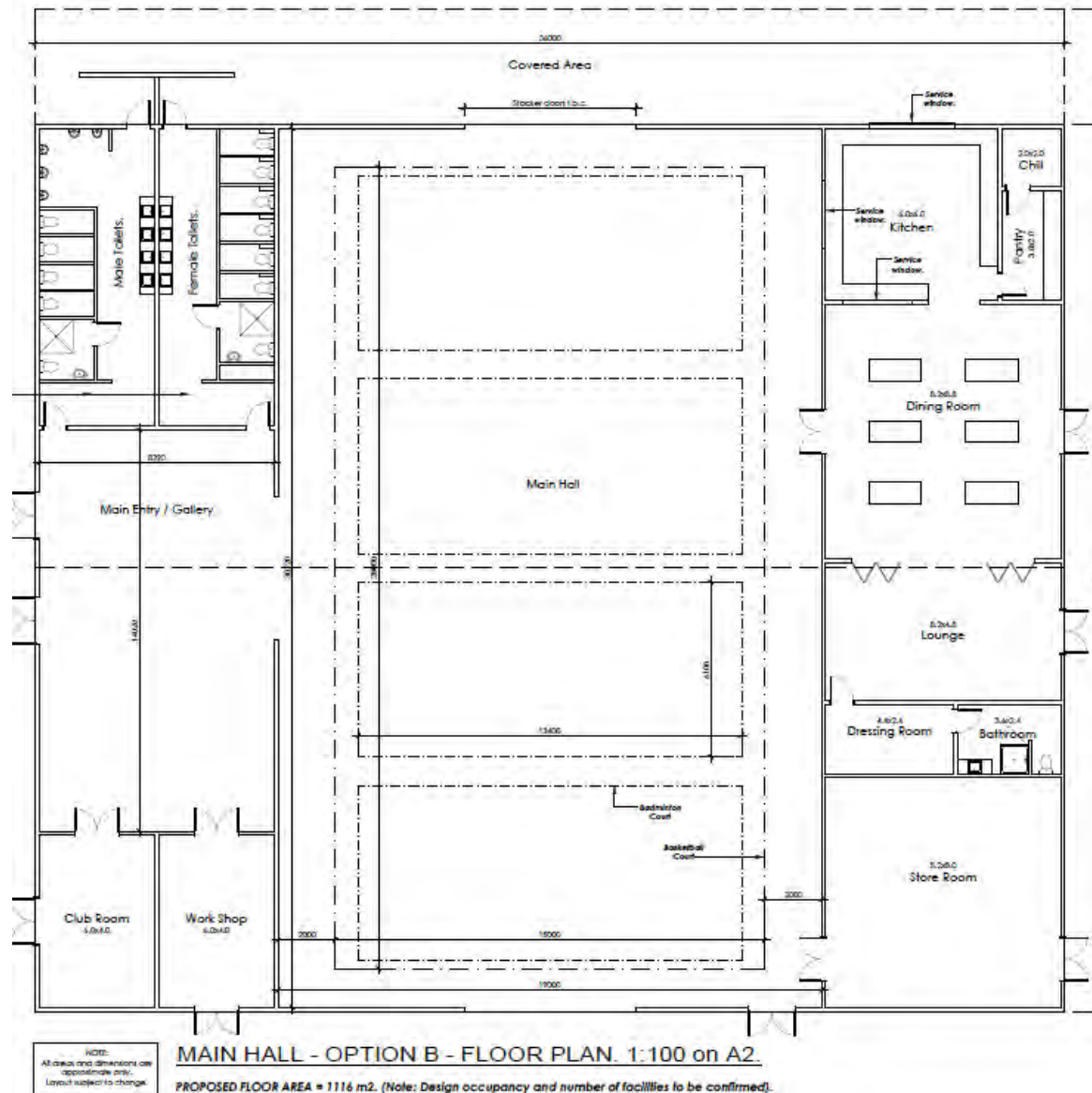
ADMINISTRATION BLOCK - ELEVATION A. 1:100



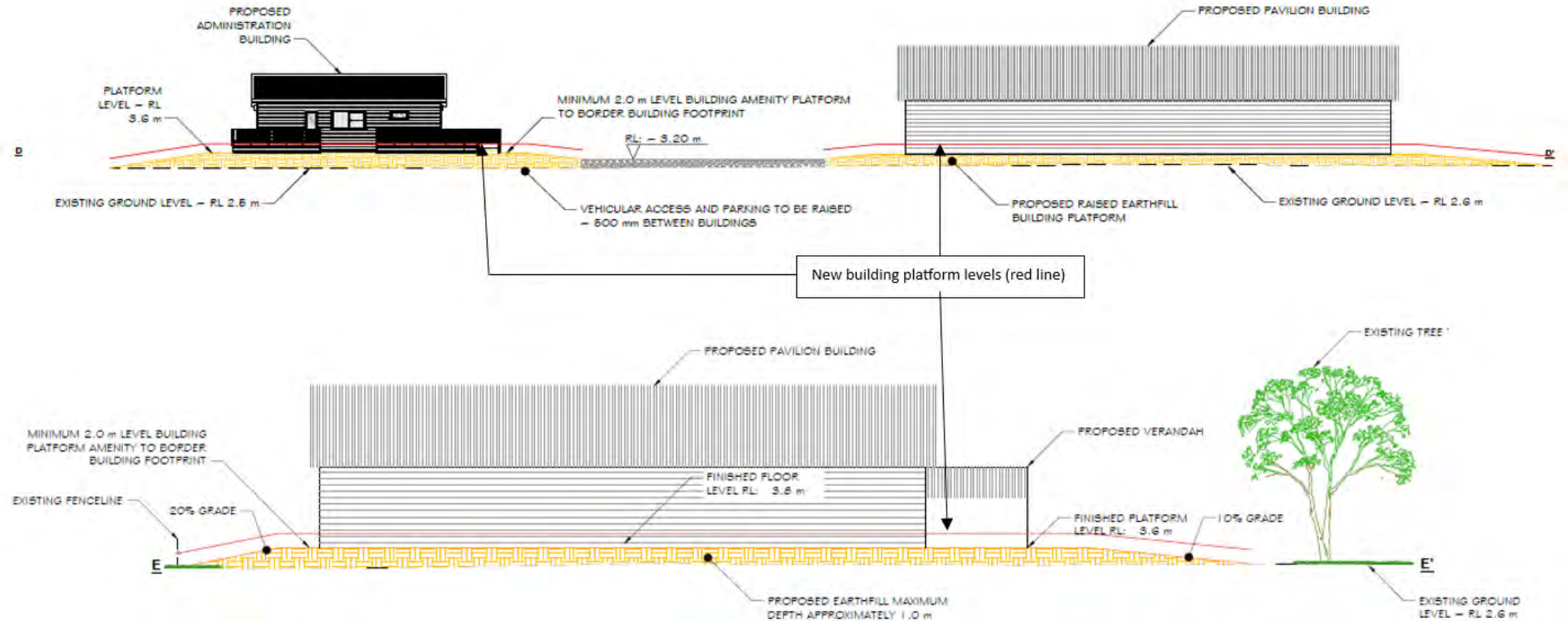
ADMINISTRATION BLOCK - ELEVATION B. 1:100



# Preliminary concept plans



# Building platform elevations



# Updated floodplain plan





# Options Analysis

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
Option 1 Do nothing	The assets would continue to deteriorate and fall into disrepair. The service would no longer be able to be provided	<p><b>High</b> – the buildings would become hazardous and eventually need to be demolished.</p> <p>The annual A&amp;P show would cease, and the A&amp;P Association would fold.</p> <p>Council would be in breach of its responsibilities for structural repairs and renewals under the gifting deed with accompanying lease and sub-lease agreements.</p> <p>Future use of the land would be in question. The gifting deed prevents selling of the land</p>	<p>Not recommended - No action</p> <p>This option is not recommended as it will not provide the level of service to meet either current or future increasing needs</p>	\$0



# Options Analysis (continued)

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
<p>Option 2</p> <p>Sell the land and asset in exchange for purchasing a new property less prone to flooding</p>	<p>Any alternative flat site in the Helensville – Parakai area is also likely to be subject to flooding.</p> <p>The existing A&amp;P showground site is not suitable for other development usages (residential, commercial, industrial) so would need to be retained as public open space because it contributes to the flood management of the area</p>	<p><b>High</b> – Council would need to first negotiate with the Helensville Racing Club who gifted the land along with the A&amp;P Association as lessee to seek agreement for selling the land in exchange for purchasing a less flood prone property in the area. Likely to be lengthy process with legal complications.</p> <p>It would not be feasible nor necessary to purchase and develop an equivalent area of suitable land from the possible sale of the showgrounds land</p>	<p>Not recommended - No action</p> <p>This option is not recommended as it could take some time for an outcome. The existing assets continue to deteriorate in the meantime</p>	<p><b>\$0</b></p>



# Options Analysis (continued)

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
<p>Option 3</p> <p>Refurbish the buildings to a reasonable condition</p> <p><b>OR</b></p> <p>deconstruct and rebuild the facility</p>	<p>Existing pavilion and toilet amenity buildings of lightweight construction not up to code for public occupancy/accessibility; floor of administration office area floods periodically</p> <p>Building platforms need to be raised above the predicted design flood level</p>	<p><b>High</b> – refurbished or reconstructed buildings would cost more than construction of new buildings.</p> <p>Refurbishment/rebuilding on the same building platforms doesn't address the future flood design levels</p>	<p>Not recommended – No action</p> <p>Poor use of investment and will not provide the level of service to meet either current or future needs and standards.</p>	<p><b>\$0</b></p>



# Options Analysis (continued)

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
<p>Option 4</p> <p><b>Preferred</b></p> <p>Like for like renewal/upgrade (to today's standard)</p>	<p>Meets the local board outcomes of 'Our local parks, sports and recreation facilities cater to a wide range of interests and abilities. They are enjoyable places to visit, and relax or be active in. They are easily accessible and meet the demands of our current and future generations.'</p> <p>Addresses impact of climate change with raising the buildings above the predicted design flood level</p>	<p><b>Medium to High</b> – buildings and supporting infrastructure still within a floodplain impacted by coastal storm surge and sea level rise but flood waters do disperse quickly once tides recede</p> <p>Recent revision of the Council's flood modelling has increased the floodplain by another 700mm and the requirement to raise the pavilion finished floor level from RL 3.8m to potentially RL 4.5m</p> <p>Additional costs to import significantly more fill, though may be able to generate some on site by creating a <u>wetland</u></p> <p>Significant investment required for this option although can be staged over 2 – 4 years to spread costs</p>	<p>This has been confirmed <u>as the preferred option</u> following consultation with the A&amp;P Association and an a site inspection</p>	<p><b>Civil works over financial years 2023/2024 and 2024/2025 \$3M</b></p> <p>(Design &amp; consenting - \$0.5M; Construction - \$2.5M)</p> <p><b>Buildings replacement over a further 1 - 2 financial years from 2025/2026: \$3.5M</b> (Note – does not include additional costs for raising the building platforms a further 0.7m)</p> <p>Project &amp; construction management and contingency \$0.5M</p> <p>Construction - \$3M</p> <p><b>Total cost \$6.5M</b></p>





# Options Analysis (continued)

Options	Criteria			Finance/Budget
	Local board outcome alignment/ Strategic alignment	Risk	Implementation	CAPEX (preliminary estimate only)
<p>Option 5</p> <p>Construct new pavilion and admin buildings on a new site in a less flood prone location of either the showgrounds or the adjoining <u>Pipitiwai Reserve</u></p>	<p>As for Option 4</p>	<p>The adjoining <u>Pipitiwai Reserve</u> is not suitable as the only flattish land is a slither along the boundary with the A&amp;P Showgrounds</p> <p>The rest of the reserve consists of a steep slope facing west that casts a significant shadow for the morning <u>sun</u></p> <p>There is only a small area of the A&amp;P Showgrounds in the north-eastern corner near the racetrack that is above the latest flood level of around RL 4.0m, approximately 270m further east of the</p>	<p>This alternative option is not preferred following consultation with the A&amp;P Society and initial site investigations</p>	<p><b>Civil works over 2 financial years: \$3.5M</b></p> <p>Design &amp; consenting - \$0.5M</p> <p>Construction \$3M</p> <p><b>Buildings replacement over a further 1 - 2 financial years: \$4.5M</b></p> <p>Project and construction management and contingency - <u>\$0.5M</u></p>





# Risks and mitigations

- Building and managing new facilities in a floodplain is the biggest challenge
- Managing costs over the next 5 or so years in an uncertain economic climate





# Next Steps

**What's still to do?**

Confirm suitability of new site in consultation with A&P

**Revised concept design**

Amend preliminary concept design for pavilion/administration and toilet amenity facilities

**Close the loop on questions and feedback**

Either could be a further workshop or preferably finalise it in the business report

**Business report**

11 October business meeting?



Thank you

Ngā mihi



# Hauraki Road Safety Improvements

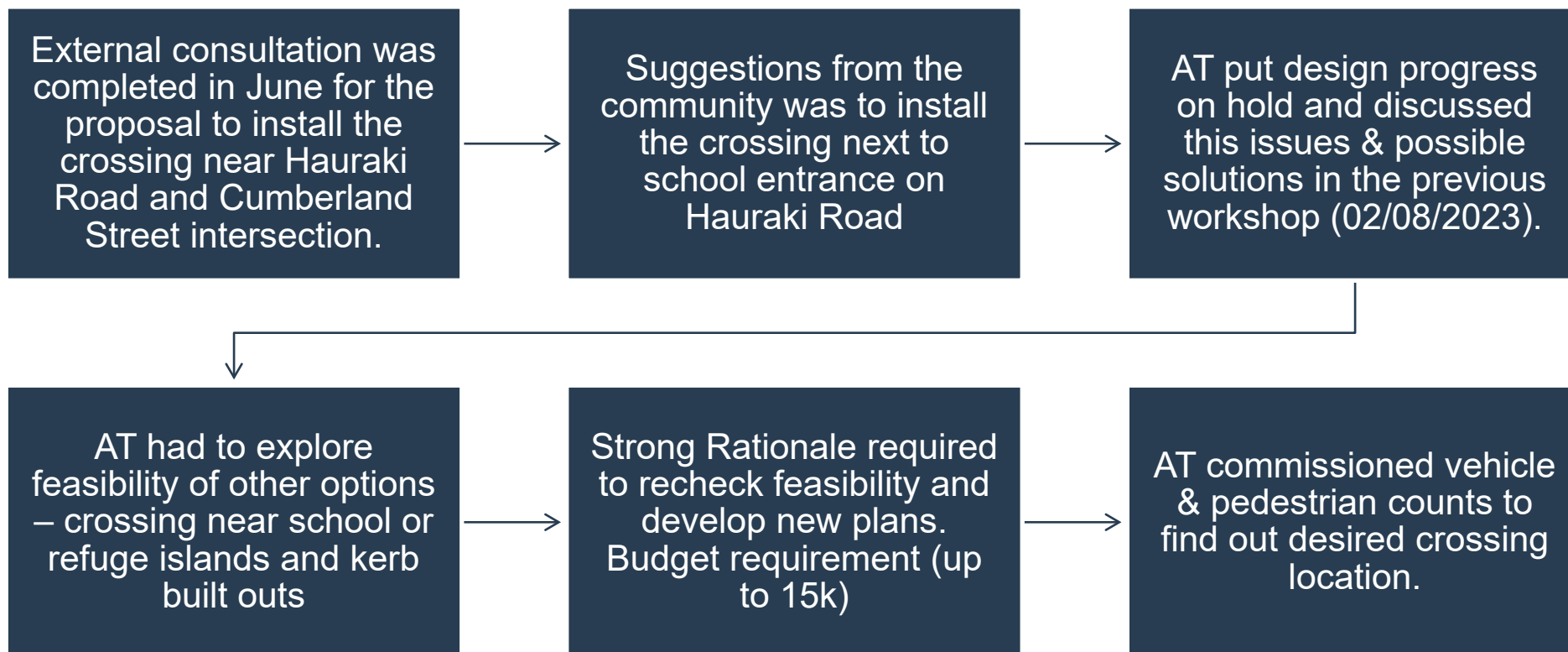
## Rodney Local Board

Rahul Gowtham on 13 September 2023

# Purpose of workshop

- Provide local board with further data/evidence for placement of crossing near #16 Hauraki Road
- Seek direction on next steps

# Progress



## Vehicle Count Summary



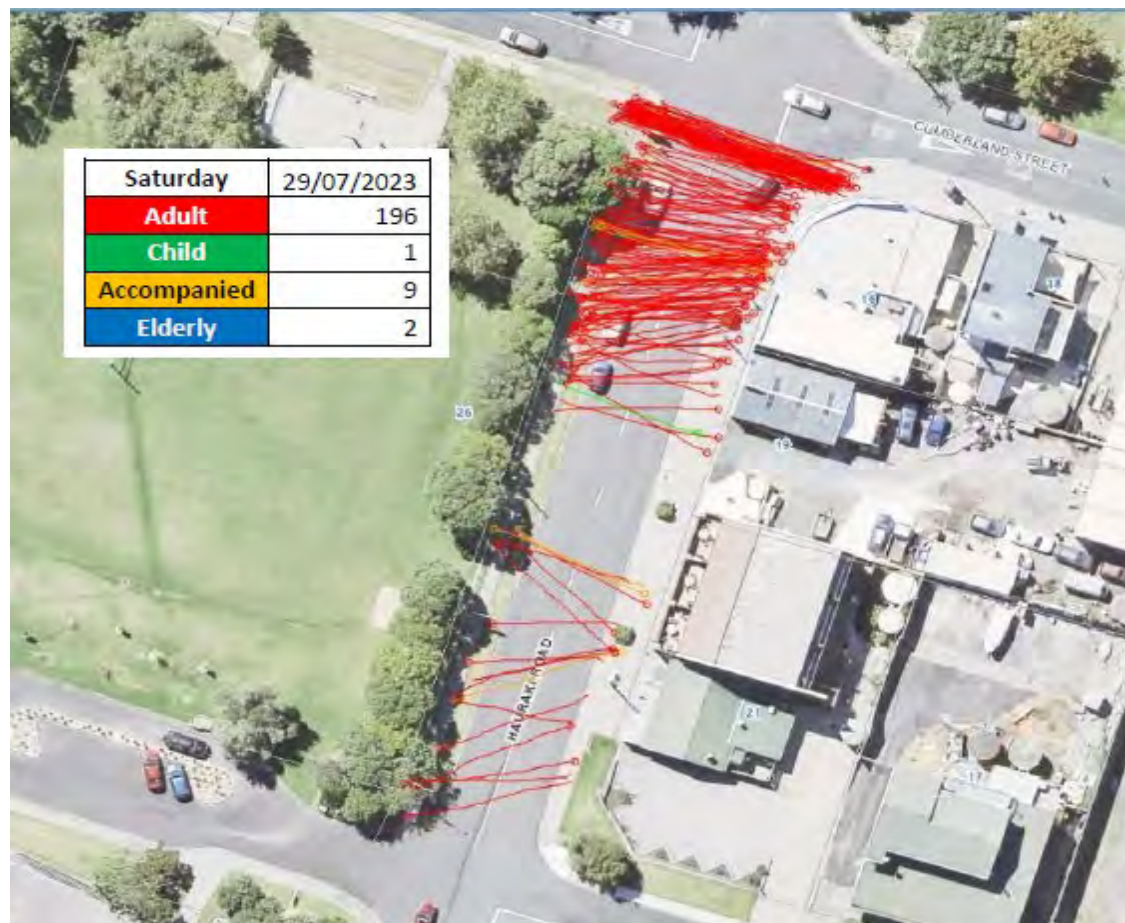
Averages									
5 Day				7 Day					
ADT (Vehicles Per Day)			% HCV	ADT (Vehicles Per Day)			85 <sup>th</sup> Percentile Speed		
Northbound	Southbound	Both	Both	Northbound	Southbound	Both	Northbound	Southbound	
356	362	718	9.7%	378	384	762	34.7	35.1	



## Pedestrian count on a weekday



## Pedestrian count on a weekend (Saturday)



## Pedestrian count on a weekend (Sunday)





AT's proposed location near businesses and school

# Location of crossing

- The findings of the survey support current proposal near #16 Hauraki Road
- AT recommend to proceed with this current design
- No additional costs

# Next steps

- Local board to provide direction on location of pedestrian crossing
- AT recommend to proceed with current design near #16 Hauraki Road

Alternatively:

- Proceed to feasibility check and design change for alternative location (cost up to 15K)

Or

- Abandon project

# Thank you.

